



GOODHUE COUNTY MINNESOTA

TO EFFECTIVELY PROMOTE THE SAFETY, HEALTH, AND WELL-BEING OF OUR RESIDENTS

Goodhue County Planning Commission
Government Center - Board Room
509 West 5th St, Red Wing MN 55066

Planning Advisory Commission

Virtual Meeting Notice:

Virtual Meeting Notice: The Goodhue County Planning Advisory Commission will be conducting a meeting on June 15, 2020 at 6:00 p.m. Due to concerns surrounding the spread of COVID-19, the meeting and all public hearings will be conducted by telephone or other electronic means.

The public may monitor the meeting from a remote site by logging into [HTTPS://GLOBAL.GOTOMEETING.COM/JOIN/240994293](https://global.gotomeeting.com/join/240994293) or calling 1 866 899 4679 beginning at 5:50 PM or any time during the meeting. Access Code: 240-994-293

Public Comments:

Interested persons must submit comments by phone, in writing, or via email by noon on Monday, June 15, 2020. To submit your comments please email them to samantha.pierret@co.goodhue.mn.us or mail them to the Land Use Management Department at 509 West 5th Street, Red Wing, MN 55066. Comments received by this deadline will be read into the record during the public hearing for that item, including name and address.

Staff reports can be viewed online 5-days prior to the meeting. Agenda items may be subject to change. Please contact Land Use Management at (651)385-3104, or visit us on the web at [WWW.CO.GOODHUE.MN.US](http://www.co.goodhue.mn.us) for more information.

6:00 PM Call Meeting To Order

Approval Of Current Agenda

Approval Of Previous Month's Meeting Minutes

1. May 18, 2020 DRAFT Meeting Minutes

Documents:

[MINUTES_MAY2020_PAC_DRAFT.PDF](#)

Conflict/Disclosure Of Interests

Public Hearings:

1. PUBLIC HEARING: CUP Request For Feedlot Expansion (Dicke)
Request for CUP, submitted by Dale Dicke (owner/operator), for expansion of an existing Feedlot above 500 Animal Units and construction of an animal waste storage pit exceeding 500,000 gallons. Parcel 33.004.1400. 20699 County 52 BLVD, Goodhue, MN 55027. The SE ¼ of Section 4 TWP 111 Range 15 in Goodhue Township. A-1 Zoned District.

Documents:

[PACPACKET_DICKE_REDACTED.PDF](#)

2. PUBLIC HEARING: CUP Request For Commercial/Industrial Use Primarily Intended To Serve The Ag. Community

Request for CUP, submitted by Carl Fox (Applicant) and Aaron Witmer (Owner), to operate a milker equipment parts and equipment storage, repair and sales business in the A-3, Urban Fringe District. Parcel 47.030.1600. TBD HWY 58 BLVD, Zumbrota, MN 55992. Part of the E ½ of the NW ¼ of Section 30 TWP 110 Range 15 in Zumbrota Township.

Documents:

[PACPACKET_FOX_REDACTED.PDF](#)

3. TABLED: Text Amendments To Articles 10 (Definitions), 11 (Performance Standards), 20 (Table Of Uses), 25 (B1 Zoning District), 27 (B2 Zoning District), And 28 (Industrial Zoning District)
Consider proposed text amendments to Goodhue County Zoning Ordinance to allow "Exterior Storage Yards" as a permitted use in the B-1 (General Business District), B-2 (Highway Business), and Industrial Districts and to consider the use in the A-1 (Agriculture Protection), A-2 (General Agriculture), and A-3 (Urban Fringe) Districts.

Documents:

[PACPACKET_EXTERIORSTORAGEYARDS.PDF](#)

Other-Discussion

Adjourn

Anyone interested is invited to attend. Agenda items may be subject to change.

Goodhue County Land Use Management

◆ Goodhue County Government Center ◆ 509 West Fifth Street ◆ Red Wing ◆ Minnesota ◆ 55066 ◆
◆ Building ◆ Planning ◆ Zoning ◆ Telephone: 651/385-3104 ◆ Fax: 651/385-3106 ◆

**PLANNING COMMISSION
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DRAFT**

The meeting of the Goodhue County Planning Advisory Commission was called to order at 6:06 PM by Chair Tom Gale at the Goodhue County Government Center, Basement IT Conference Room in Red Wing.

Roll Call

Commissioners Present virtually via GoToMeeting: Richard (Dick) Nystuen, Tom Gale, Barney Nesseth, Richard Miller (arrived 6:11 PM), Sarah Pettit, Marc Huneke (Arrived at 6:08 PM), Darwin Fox and Tom Drazkowski

Commissioners Absent: Howard Stenerson

Staff Present: Land Use Director Lisa Hanni, Zoning Administrator Ryan Bechel, and Zoning Assistant Samantha Pierret

1. Approval of Agenda

¹Motion by Commissioner Nesseth; seconded by Commissioner Drazkowski to approve the meeting agenda.

Motion carried 6:0.

2. Approval of Minutes

²Motion by Commissioner Nesseth; seconded by Commissioner Fox to approve the previous month's meeting minutes.

Motion carried 7:0.

3. Conflict/Disclosure of Interest

There were no reported conflicts/disclosures of interest.

4. Public Hearings

PUBLIC HEARING: "DL BTF Addition" Preliminary/Final Plat Review

Request submitted by Northern States Power Company (Applicant), High-Power Farms LLC (Owner), and Mon Cheval Training Center LLC (Owner) for Preliminary and Final Plat review of the proposed "DL BTF Addition" as part of a multi-party common property line adjustment request. Parcels 28.019.5901, 28.019.6001, 28.019.6300, and 28.019.6900. 31734 and 31924 Willow Trail, Cannon Falls, MN 55009. Part of the W 1/2 of the SW 1/4 of Sect 19 TWP 112 R17 in Cannon Falls Township. B2 and A3 Zoned District.

Bechel presented the staff report and attachments.

Bonnie O'Malley (Applicant Representative) was present virtually via GoToMeeting and stated that the plat was fairly simple and was being done to clear up boundary disputes between landowners. She noted that the legal descriptions and tax parcels would be cleaned up with this plat which was advantageous to the owners.

Chair Gale opened the Public Hearing.

No one spoke for or against the request.

³After Chair Gale called three times for comments it was moved by Commissioner Miller and seconded by Commissioner Huneke to close the Public Hearing.

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Motion carried 8:0

4It was moved by Chair Gale and seconded by Commissioner Drazkowski for the Planning Advisory Commission to:

- Adopt the staff report into the record;
- Accept the application, testimony, exhibits and other evidence presented into the record; and

Recommend that the County Board of Commissioners **APPROVE** the request submitted by Northern States Power Company (Applicant), High-Power Farms LLC (Owner) and Mon Cheval Training Center LLC (Owner) for Preliminary and Final Plat review of the proposed "DL BTF Addition".

Motion carried 8:0.

PUBLIC HEARING: Request for Map Amendment (Rezone) – High-Power Farms LLC/Mon Cheval Training Center LLC

Request submitted by Northern States Power Company (Applicant), High-Power Farms LLC (Owner), and Mon Cheval Training Center LLC (Owner) to rezone two "slivers" of property totaling less than 1-acre from A3 (Urban Fringe District) to B2 (Highway Business District) and one "sliver" of property totaling less than 1-acre from B2 to A3 in conjunction with a multi-party common property line adjustment request. Parcels 28.019.5901, 28.019.6001, 28.019.6300, and 28.019.6900. 31734 and 31924 Willow Trail, Cannon Falls, MN 55009. Part of the W 1/2 of the SW 1/4 of Sect 19 TWP 112 R17 in Cannon Falls Township. B2 and A3 Zoned District.

Bechel presented the staff report and attachments.

Chair Gale opened the Public Hearing

No one spoke for or against the request.

5After Chair Gale called three times for comments it was moved by Commissioner Huneke and seconded by Commissioner Nystuen to close the Public Hearing.

Motion carried 8:0

6It was moved by Chair Gale and seconded by Commissioner Miller to:

- Adopt the staff report into the record;
- Accept the application, testimony, exhibits and other evidence presented into the record; and

Recommend the County Board of Commissioners **APPROVE** the map amendment request submitted by Northern States Power Company (Applicant), High-Power Farms LLC (Owner) and Mon Cheval Training Center LLC (Owner) to rezone two "slivers" of property totaling less than 1-acre from A-3 (Urban Fringe District) to B-2 (Highway Business District) and one "sliver" of property totaling less than 1-acre from B2 to A3 as indicated on the proposed "DL BTF Addition" plat.

Subject to the following condition:

1. The proposed "DL BTF Addition" plat shall be recorded prior to the zoning changes.

Motion Carried 8:0

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PUBLIC HEARING: Request for Text Amendments to Articles 10 (Definitions), 11 (Performance Standards), 20 (Table of Uses), 22 (A2 Zoning District), 25 (B1 Zoning District), 27 (B2 Zoning District) and 28 (Industrial Zoning District)

Request submitted by Kevin Simanski (Applicant), to consider proposed text amendments to Goodhue County Zoning Ordinance to allow “outdoor storage” as a permitted use in the B2 (Highway Business) and A2 (General Agriculture) Districts. Land Use Management staff have prepared a definition and associated performance standards for “Exterior Storage Yards” for the Planning Commission to alternatively consider.

Bechel presented the staff report and attachments.

Hanni noted that the amendments submitted by the Simanskis for consideration must be decided on at this meeting while staff's recommended language may be tabled at this meeting for further consideration.

Commissioner Drazkowski questioned whether the provided Article 11 Section 33 was a new addition to the Ordinance.

Bechel confirmed, stating that Article 11 Section 33 was prepared by staff for the Planning Commission's consideration.

Commissioner Miller noted that the use was not permitted in the A-1 and A-3 zoning districts in the provided packet. He questioned whether this was the direction the Commission wanted to go.

Bechel stated that staff prepared this language for the Commission's consideration. He noted that staff could see benefits to permitting/allowing the use in the agricultural zones however staff could also see challenges of allowing the use in these zones. He added that there are storage uses currently in existence in the agricultural zones. Bechel said that additional performance standards could be added or the use could only be allowed via Conditional/Interim Use Permit if the Commission preferred. Bechel clarified that current uses in the Business and Industrial Districts are just as impactful, if not more so than the proposed storage use which was the reason Exterior Storage Yards were proposed to be permitted in these districts and the Commercial Recreation District.

Commissioner Miller questioned whether the exterior storage if allowed in agricultural districts, would need to be “ag-related storage”.

Hanni stated that staff is looking to get away from classifying uses as “ag-related” because that is a vague term that puts staff in a bind when property owners propose specific uses on their land.

Discussion continued regarding other commercial uses in the agricultural districts that are already in existence.

Chair Gale commented on the oversight that would be needed for storage facilities in the agricultural zones, particularly if the business were being conducted far back from the public road. He stated that allowing these uses in zones close to highways would be a better idea.

Discussion continued regarding businesses in the agricultural districts that serve the ag community that are already in existence and whether storage could continue on these sites.

Chair Gale opened the Public Hearing.

Pierret read comments received by staff via email from the public prior to the Planning Commission meeting.

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Scott & Sue Reed (30971 Hay Creek Hills Drive, Red Wing comments received via email by Ryan Bechel May 14, 2020) The Reeds stated that the proposal by the Applicant appeared to be a way to create a junk salvage yard or contractors yard on their property. They noted that there would be impacts to the environment and property values if this use was allowed. They added that the term outdoor storage is vague and could be interpreted to include junk or hazardous items and that this needs to be identified as not allowed in the definition to prevent misunderstanding of a facility's use.

Marilyn Schilling (Hay Creek Township Clerk, comments received via email by Ryan Bechel May 18, 2020) Ms. Schilling stated that the Hay Creek Township Board of Supervisors discussed the proposed text amendment and noted that they are opposed to the wording proposed by the Applicant. She added that the Township Board is in agreement with staff's proposed language.

Brad Johnson (29126 HWY 58 BLVD, Red Wing comments received via email by Ryan Bechel May 18, 2020) Mr. Johnson stated he agreed with the recommendation to deny the Applicant's proposed text amendment. He added that additional language should be added to staff's proposal to restrict noise and traffic potentially created by exterior storage yards.

Tom & Teresa Gadiant (29407 HWY 58 BLVD, Red Wing comments received via email by Ryan Bechel May 18, 2020) The Gadiants stated they agree with the recommendation to deny the Applicant's proposed text amendment. They added that a more descriptive definition of items allowed to be stored in an exterior storage yard should be crafted to ensure non-industrial items are stored on agricultural or business zoned parcels.

(Attachment 1)

Commissioner Pettit relayed comments from Mary Veiseth (Minneola Town Board) who was concerned with the proposed definition of exterior storage and the fact that A2 zoned properties are typically in farmland areas in Minneola Township.

After Chair Gale asked three times for additional comments it was moved by Commissioner Nesseth and seconded by Commissioner Huneke to close the Public Hearing.

Motion carried 8:0.

It was moved by Commissioner Miller and seconded by Commissioner Nesseth to:

- Adopt the staff report into the record;
- Accept the application, testimony, exhibits and other evidence presented into the record; and

Recommend the County Board of Commissioners **DENY** the Applicant's text amendment request for "outdoor storage" in the A2 and B2 zoning districts to the extent it is undefined and does not provide adequate detail for the County to interpret the proposed use.

Motion carried 8:0

Commissioner Gale questioned types of vehicles that could be stored at an Exterior Storage Facility.

Hanni stated that staff is aware there are existing storage yards in the County and clarified that staff can send additional information to the Commission before they made a decision on staff's prepared Exterior Storage Yards use.

Commissioner Pettit commented that she would like to have more time to review staff's

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proposal. She noted that the use fits into the Business zones and less into the agricultural zones.

Commissioner Nesseth questioned how this use would affect small farmers storing a few campers etc. in existing sheds and how staff would administer these regulations. He questioned whether this language was going to be an enforcement opportunity.

Hanni clarified that the new language would allow property owners to establish an exterior storage business with adherence to proposed performance standards.

Commissioner Nesseth questioned whether outdoor storage was allowed in Business Districts.

Bechel stated that outdoor storage is not an allowed as a primary use in any district. He added that storage is allowed if it is accessory to an already established business.

Commissioner Nesseth questioned whether approving of staff's language would allow outdoor storage with a permit.

Bechel noted that staff's recommendation is to permit exterior storage yards in Business, Industrial, and Commercial Recreational Districts.

Commissioner Gale questioned whether an owner storing a few items for friends or family would be required to obtain a permit from the County.

Bechel stated that storing items in accessory buildings have been allowed in the County in agricultural districts as a home business use.

Commissioner Nesseth questioned what the effect would be if the Planning Commission did not adopt this language.

Bechel stated that if the proposed language was not adopted, outdoor storage would not be allowed as a primary use in any district unless it is accessory to an established business.

Hanni stated that the language is intended to allow business zoned property owners to have an exterior storage yard business but the intention was not to start enforcing this language on individual residential property owners in the County.

Commissioner Miller clarified whether the proposed language was in reference only to exterior storage, not indoor storage. He commented that storing a few campers etc. on private property in an agricultural district may be okay if they were stored inside a building.

Chair Gale noted that there are two types of uses being discussed. The first is someone who wants to start a business on a property and the primary business is storing items like boats, RVs, or campers. The other scenario is when a property owner stores a few items for friends and family as a favor, not as a business. He discussed different scenarios if exterior storage was allowed in agriculture districts. Chair Gale stated he would prefer to table the item until the next meeting.

Commissioner Pettit questioned whether a public hearing would need to be held on the proposed staff language.

Bechel clarified that the public hearing was already held earlier for the Simanski's proposed amendment and staff's proposed amendment therefore another hearing would not be required if the item were on a future agenda. He also noted that a public hearing will be required at the County Board meeting.

Commissioner Nesseth stated that this proposal may have unintended consequences in the future and he could not support this amendment at this time. He added that he doesn't see a

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need for the amendment.

Hanni added that the staff proposal was only to allow exterior storage in the business zones and to have a discussion on allowing it in the agricultural zones.

Commissioner Nesseth questioned the zoning of the Simanski's property.

Bechel stated that the Simanski property is half B-2 and half A-2.

Commissioner Nesseth proposed that the item be tabled for more discussion. He questioned whether there could be a specific number of items that can be stored on a property before they must register as an exterior storage yard.

Bechel stated that staff currently cannot allow someone to store items on their property as a business because the ordinance does not allow that type of use.

Commissioner Drazkowski questioned whether other counties had exterior storage as a non-permitted use in agricultural districts.

Bechel stated that other counties typically did not allow storage in their agricultural districts however staff recognized that this was an existing use in Goodhue County agricultural districts. He added that in the end staff decided to recommend to not permit storage in the agricultural districts due to impacts on traffic, roads and neighbors. He noted that staff was not against allowing the use in the agricultural districts, however staff wanted the Commission to discuss the proposal.

Commissioner Drazkowski noted that there may be several property owners in agricultural districts who store items they do not own on their property. He didn't want to see a regulation put in place that would have future consequences.

Bechel re-iterated that staff currently does not have the option to allow exterior storage as a use in any zoning district. He stated that a separate set of rules, permit processes and scale may be necessary for exterior storage in the agricultural districts.

Chair Gale stated he would like to see a specific number of items put into the language where property owners can have a few campers on their property without registering as a storage yard.

Bechel noted that the proposed ordinance is not intended to regulate personal storage, the ordinance is proposed to allow exterior storage in Business and Industrial Districts and maybe where appropriate in agricultural districts.

9It was moved by Commissioner Nystuen and seconded by Commissioner Fox to:

TABLE staff's recommended Ordinance revision for Exterior Storage Yards to allow staff time to research and prepare additional information on allowing storage in Agricultural Zoning Districts. No additional public hearing will be held.

Motion carried 8:0

Other-Discussion

There was no additional discussion.

10ADJOURN: Motion by Commissioner Huneke and seconded by Commissioner Fox to adjourn the Planning Commission Meeting at 7:06 PM.

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Motion carried 8:0

Respectfully Submitted,

Samantha Pierret; Zoning Assistant

¹ APPROVE the PAC meeting agenda.

Motion carried 6:0.

² APPROVE the previous month's meeting minutes.

Motion carried 7:0.

³ Motion to close the Public Hearing

Motion carried 8:0

⁴ Recommend the County Board of Commissioners **APPROVE** the request for preliminary/final plat review

Motion carried 8:0

⁵ Motion to close the Public Hearing

Motion carried 8:0

⁶ Recommend the County Board of Commissioners **APPROVE** the request to rezone "slivers" of property

Motion carried 8:0

⁷ Motion to close the Public Hearing

Motion carried 8:0

⁸ Recommend the County Board of Commissioners **DENY** the proposed Text Amendments

Motion carried 8:0

⁹ TABLE the proposed Text Amendments prepared by staff

Motion carried 8:0

¹⁰ ADJOURN. Motion to adjourn the PAC meeting.

Motion carried 8:0

UNOFFICIAL UNTIL APPROVED BY THE PAC

Bechel, Ryan

From: Marilyn Schilling <mkschill6@gmail.com>
Sent: Sunday, May 17, 2020 11:46 AM
To: Bechel, Ryan
Subject: Public Comments - Planning Advisory Commission Meeting - 05/18/2020

Follow Up Flag: Follow up
Flag Status: Completed

Regarding Agenda Item 3 – Public Hearing Request for Text Amendments to Articles 10

The Hay Creek Township Board of Supervisors met on May 13, 2020. The proposed text amendment was reviewed and discussed by the supervisors. They asked that I contact you to inform you that the Hay Creek Township Board wishes to go on record that they are opposed to the request for text amendment for “outdoor storage” as submitted by Kevin Simanski because it is too vague as written. They are in agreement with your staff’s definition and associated performance standards for “Exterior Storage Yards” and ask that you approve the staff’s proposed “exterior storage yard” text amendments.

Marilyn Schilling
Clerk, Hay Creek Township
651-764-4860
mkschill6@gmail.com

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Brad Johnson
29126 Highway 58 Blvd.
Red Wing, MN. 55066

May 18, 2020

I agree with the LUM staff recommendation to deny the Application For Text Amendment #Z20-0009 dated 3-13-2020 and to accept the LUM staff's proposed alternative language with one exception.

This language must be very specific, as not to allow any loose interpretation of the intended meaning of the ordinance.

Please refer to the LUM staff proposal Article 11, Section 33, Subdivision 1E. "Use of Exterior Storage Yards for equipment servicing or repair, retail sales, processing, or manufacturing is prohibited."

I respectfully suggest additional language be added to Article 11, Section 33, Subdivision 1E that would further define the intent of the ordinance. "Temporary staging (drop off) of equipment for day to day business related activities is prohibited"

My concern is without this language, there is a potential for additional activity, noise and traffic above and beyond what is associated with existing outdoor storage yards that contain boats, campers and other seasonal items.

Respectfully submitted,

Brad Johnson
29126 Highway 58 Blvd.
Red Wing, MN 55066

To Planning Advisory Commission:

We agree with the Land Use Management staff on their recommendation to Deny the Applicant's text amendment. 'Any open air/outdoor storage' is undefined and risks overlap with existing definitions of Contractors Yard and Junk/Salvage Yards.

If PAC considers the Exterior Storage Yard text amendments that the Staff has recommended, we feel a more descriptive definition is needed to ensure clarity and understanding of appropriate storage. Allowing for 'similar items' is a vague term that should be removed (or if kept, more fully defined). It's important this text amendment does not create unintended consequences for the County, such as an Industrial business attempting to use other zoned parcels (like A2 or B2) for storage of items that are intended and suited for Industrial parcels.

Thank you.

Tom & Teresa Gadiant

29407 Hwy 58 Blvd
Red, Wing, MN 55066

Bechel, Ryan

From: Sue Reed <gopher7895@hotmail.com>
Sent: Thursday, May 14, 2020 4:26 PM
To: Bechel, Ryan
Subject: 5/18/2020 Planning Advisory Commission Public Hearing Agenda Item-Kevin Simanski

Follow Up Flag: Follow up
Flag Status: Flagged

To Members of the Goodhue County Planning Advisory Commission:

Knowing that Kevin Simanski 's request for a junk salvage yard and contractors yard at Highway 58 and Hay Creek Hills Drive was previously declined, this appears to be another way to create such a business on this site. As residents of Hay Creek Hills Drive we have been opposed to these proposals due to damage to the environment and our property values. We continue to have concerns about hazardous materials, drainage from the site, noise, traffic, offensive odors and the area becoming an eyesore.

"Outdoor storage" is a vague term and could loosely be interpreted to include junk and hazardous materials. The proposed definition: "An outdoor facility designed and used for the orderly storage of operable recreational vehicles, boats, vehicles or similar items," sounds acceptable but continues to raise questions of future intentions. Storage of construction debris, hazardous materials, trash, etc. needs to be specifically identified as not allowed in any definition to prevent misunderstanding of a facility's use per the code.

Scott and Sue Reed
30971 Hay Creek Hills Drive
Red Wing, MN 55066
(315) 382-2230

Goodhue County Land Use Management

Goodhue County Government Center | 509 West Fifth Street | Red Wing, Minnesota 55066

Lisa M. Hanni, L.S. Director

Building | Planning | Zoning
Telephone: 651.385.3104
Fax: 651.385.3106



County Surveyor / Recorder

Environmental Health | Land Surveying | GIS
Telephone: 651.385.3223
Fax: 651.385.3098

To: Planning Commission
From: Land Use Management
Meeting Date: June 15, 2020
Report date: June 5, 2020

PUBLIC HEARING: CUP Request for Feedlot Expansion (Dicke)

Request for CUP, submitted by Dale Dicke (owner/operator), for expansion of an existing Feedlot above 500 Animal Units and construction of an animal waste storage pit exceeding 500,000 gallons.

Application Information:

Applicant: Dale Dicke (owner/operator)
Address of zoning request: 20699 County 52 BLVD, Goodhue, MN 55027
Parcel(s): 33.004.1400
Abbreviated Legal: The SE ¼ of Section 4 TWP 111 Range 15 in Goodhue Township
Township Information: Goodhue Township confirmed acknowledgment of the Applicant's proposal via email sent on May 22, 2020. The Applicant has completed the Township Building Permit approval form which has been signed by Goodhue Township without comments/conditions.
Zoning District: A1 (Agriculture Protection District)

Attachments and links:

Application and submitted project summary (excerpt of submitted materials; full submittal available from LUM Department upon request)
Site Map(s)
Feedlot Officer Odor OFFSET calculations (Kelsey Petit)
Goodhue County Zoning Ordinance (GCZO):
<http://www.co.goodhue.mn.us/DocumentCenter/View/2428>

Background:

The Applicants are requesting Conditional Use Permit (CUP) approval to expand an existing Feedlot operation from 244 animal units to 572.05 animal units. The proposal includes construction of a new slat barn with a below-grade storage pit with a proposed maximum storage capacity of 606,129 gallons. The proposed barn and pit would be located on land currently occupied by open feeding pens and when finished would provide space for up to 300-head of beef cattle. The planned expansion will allow the family farming operation to increase labor and operational efficiencies as well as improve on-site manure management.

The property is currently a registered Feedlot in good standing. The Goodhue County Zoning Ordinance (GCZO) requires CUP approval for all Feedlots exceeding 500 Animal Units in the A1 District and any animal waste storage pits exceeding 500,000 gallons. The property does not currently operate under a Conditional Use Permit as there are less than 500 animal units on-site and the Applicant's utilize a solid manure pack system for managing wastes that does not include liquid storage.

Goodhue County Zoning Ordinance: Article 4 Conditional/Interim Uses

No CUP/IUP shall be recommended by the County Planning Commission unless said Commission specifies facts in their findings for each case which establish the proposed CUP/IUP will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, will not substantially diminish and impair property values within the immediate vicinity, will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant to the area, that adequate measures have been, or will be, taken to provide utilities, access roads, drainage, and

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other necessary facilities, to provide sufficient off-street parking and loading space, to control offensive odor, fumes, dust, noise, and vibration so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Project Summary:

Property Information:

- The farm is located on a 160-acre parcel (approximate). Dale Dicke’s residence is located on the parcel.
- The property and all adjacent properties are zoned A1. Surrounding land uses are primarily agricultural (feedlots and row-crop agriculture). There is low to medium residential density in the immediate vicinity with 6 homes within a half-mile of the site.
- The barn would be accessed by existing driveways from County 52 BLVD (aggregate road) at the southern portion of the parcel. Emergency vehicle access appears adequate to service the property.
- Existing parking and unloading space would be available for the new barn.

Feedlot Facilities:

- The Applicants are proposing to construct a 70-foot x 120-foot cattle confined feeding barn with a proposed 52-foot x 140-foot below-grade concrete manure pit.
- The barn and manure storage areas have been designed by ProAg Engineering, a Minnesota licensed engineering firm.
- There are 7 existing sheltered livestock areas (including calf hutches) as well as multiple open-air feeding pens. One existing cattle barn is planned to be removed after completion of the proposed barn (as noted on attached maps). Additional facilities include feed and grain storage silos, bags, and bins, and multiple machinery storage/repair buildings.

Animal Units/Setbacks:

- The Applicants are proposing to register an additional 300 head of Beef Feeder cattle resulting in a total of 572.05 Animal Units as shown below. Dairy cattle, calf, and chicken numbers have also been slightly changed from the last registration (2017) to reflect current operations.

Animal Type	A.U. Factor	# of Animals	Animal Units
<u>Dairy Cattle</u>			
<i>Heifer</i>	0.7	20	14
<i>Calf</i>	0.2	125	25
<u>Beef Cattle</u>			
<i>Slaughter Steer/Stock cow</i>	1.0	200	200
<i>Feeder Cattle</i>	0.7	330	231
<i>Cow and Calf Pair</i>	1.2	85	102
<u>Chickens</u>			
<i>Layers 5lbs. and over – dry manure system</i>	.005	10	0.05

Total Animal Units 572.05

- Expansions on existing Feedlots are required to be setback at least 91% Odor Annoyance-Free Rating distance (as determined by the Odor OFFSET Evaluation Model) from existing dwellings. A 430-foot setback is required for the facility to meet a 91% Odor Annoyance-Free Rating.
- The nearest dwelling (owned by Audrey Hadler) is located 1,640 feet southwest of the proposed Feedlot expansion. At that distance, a 98% Odor Annoyance-Free Rating is achieved.
The Feedlot is over 2.5 miles the nearest city (Goodhue).
- There are currently 8 dwellings located in section 04. As an A1 zoned section, a maximum of 4 dwellings are allowed in the section. The sections east, south, and west of the site are also zoned

A1 and have either met or exceeded their available dwelling density. The section north of the site is zoned A2 and has 4 dwellings where 12 are allowed (one per 1/4 1/4). Future development in section 33 of Featherstone Township would be difficult due to topographic and accessibility challenges.

- ProAg Engineering completed a desktop wetlands review and karst features inventory. No wetland features were noted within the project area and the nearest potential sinkhole is greater than 1,000 feet southwest of the site.
- The proposed Feedlot is sited to comply with all other setback standards of the GCZO including property lines, wells, septic systems, Shoreland, Floodplains, sinkholes, and Blufflands. The site is not located within an abandoned quarry.

Drainage/Landscaping:

- The site has minor topographic relief with slopes ranging from 3-6% in the project area. The facility would be sited on a lower portion of the site from the existing dwelling and some barns. Drainage for the property generally flows north via a series of existing in-field grassed waterways before finally out-letting into Hay Creek approximately 1 mile north of the farm.
- The plans call for a combination of silt fencing, bale check, and earthen dikes around the perimeter of the excavation to prevent stormwater erosion during the construction phase. A perimeter tile is proposed around the new barn that would be interconnected to an existing field tile drainage system to aid drainage around the structure and allow on-going monitoring of the manure pit.
- An NPDES permit is not required for this project as it will create less than one acre of impervious area. A Stormwater Pollution Prevention Plan (SWPPP) has been prepared by the engineer to prevent erosion on site.

Goodhue County Soil and Water Conservation District Technician/Water Planner Beau Kennedy was not available to review the submittal prior to print. Staff will provide an update with Mr. Kennedy’s comments at the PAC hearing.

Nutrient/Waste Management:

- Animal waste will be collected via a manure containment pit beneath the new barn until it can later be field-applied as fertilizer. The pits are subject to MPCA inspection throughout the construction process to ensure structural integrity and conformance with approved engineered plans. The proposed pit would hold up to 606,129 gallons and provide 385 days worth of on-site storage capacity allowing the operation greater flexibility in determining when to land apply manure.

Manure Storage Area	Status	Type	Length	Width	Depth	Capacity (Gallons)
<i>New Slat Barn</i>	Proposed	Concrete Pit	141.7'	52.0'	11'	606,129

- The manure pit has an “Operation, Inspection, and Maintenance Plan” which includes records retention and quarterly monitoring of liquid levels to ensure the pit is properly functioning.
- A preliminary Nutrient Management Plan has been submitted for review to the Goodhue County Feedlot Officer. The Applicants plan to field apply manure via “knife injection” during the early fall. Existing “manure pack” wastes are field applied using a solids spreader followed by tillage incorporation. A final review and approval of the Applicants’ Nutrient Management Plan will be required before completion of the Feedlot Registration process.
- An Animal Mortality Plan is currently in place at the facility. The Applicants utilize composting as the primary method of disposal of deceased animals. The earthen bottom compost pile would be approximately 40-feet x 50-feet and will be site off the northeast corner of the new barn.
- The barn will be “total confinement” to reduce off-site odor impacts. Additional odor control/reduction measures include prompt cleanup of feed spills and prevention of manure buildup around gates and feeders.
- It should be noted that any wastewater from showers, hand wash sink, bathrooms, or any other

source of human sewage cannot be comingled and must be treated by a septic system permitted by Goodhue County Environmental Health. The existing dwelling is served by an individual septic system.

There is an existing well on the property approximately 500 feet from the proposed facilities. Wells are subject to permit approval and inspection from the Goodhue County Environmental Health Department.

County Feedlot Officer Comments:

- Goodhue County Feedlot Office Kelsey Petit offered the following comments:

“The Dicke’s will have enough land to apply the beef and dairy manure for this feedlot operation. They state in the manure management planner that they can apply on 489 acres and more if needed. The applicants are taking all protective measures to meet state and county requirements to provide sufficient protection of water resources.”

Draft Findings of Fact:

The following staff findings shall be amended to reflect concerns conveyed during the PAC meeting and public hearing.

1. The proposed Feedlot expansion and manure storage pit does not appear injurious to the use and enjoyment of properties in the immediate vicinity for uses already permitted, nor would it substantially diminish and impair property values in the immediate vicinity. The use is located in an A1 (Agriculture Protection) zone which is intended to allow for large-scale agricultural operations. Large separation distances and low residential density in the vicinity buffer the Feedlot from existing non-compatible uses in the surrounding area. The use appears harmonious with the established uses in the vicinity which include primarily cropland and animal agriculture operations.
2. The Feedlot expansion and liquid manure storage pit is not anticipated to impede the normal and orderly development or improvement of surrounding vacant property for uses predominant to the area. All dwellings not owned by the Applicant exceed the minimum setback standards required by ordinance. The expansion achieves a 98% Odor Annoyance Free Rating due to its configuration and distance from existing non-farm uses where 91% is the minimum allowed by ordinance. The proposal meets or exceeds all the other development standards of the Goodhue County Zoning Ordinance and appears compatible with adjacent land uses.
3. A review of the Applicant’s submitted project summary indicates adequate utilities, access roads, drainage, and other necessary facilities are available to accommodate the proposed use.
4. The facility has existing means to provide sufficient off-street parking and loading space to serve the proposed use and meet the Goodhue County Zoning Ordinance’s parking requirements.
5. The submitted plans detail adequate measures to prevent or control offensive odor, fumes, dust, noise, and vibration so that none of these will constitute a nuisance. The new barn and manure pit are “total confinement” and liquid manure is field applied via “knife injection” to minimize odor and fume impacts to surrounding landowners.

Staff recommendation is based on the review of the submitted application and project area prior to the public hearing.

Staff Recommendation:

LUM Staff recommends the Planning Advisory Commission

- adopt the staff report into the record;
- adopt the findings of fact;
- accept the application, testimony, exhibits, and other evidence presented into the record; and

Recommend the County Board of Commissioners **APPROVE** the CUP request, submitted by Dale Dicke (owner/operator) to establish a 572.05 Animal Unit Feedlot with an animal waste storage pit of up to 606,129 gallons.

Subject to the following conditions:

1. The Feedlot expansion shall be constructed according to submitted plans, specifications, and narrative unless modified by a condition of this CUP;
2. Applicants shall obtain Building Permit approvals from the Goodhue County Land Use Management Department prior to establishing the new barn;
3. Compliance with Goodhue County Zoning Ordinance including, but not limited to, Article 21 (Agriculture Protection District) and Article 13 (Confined Feedlot Regulations);
4. Compliance with all necessary State and Federal registrations, permits, licensing, and regulations.

MAP 03: CONTOURS

PLANNING COMMISSION

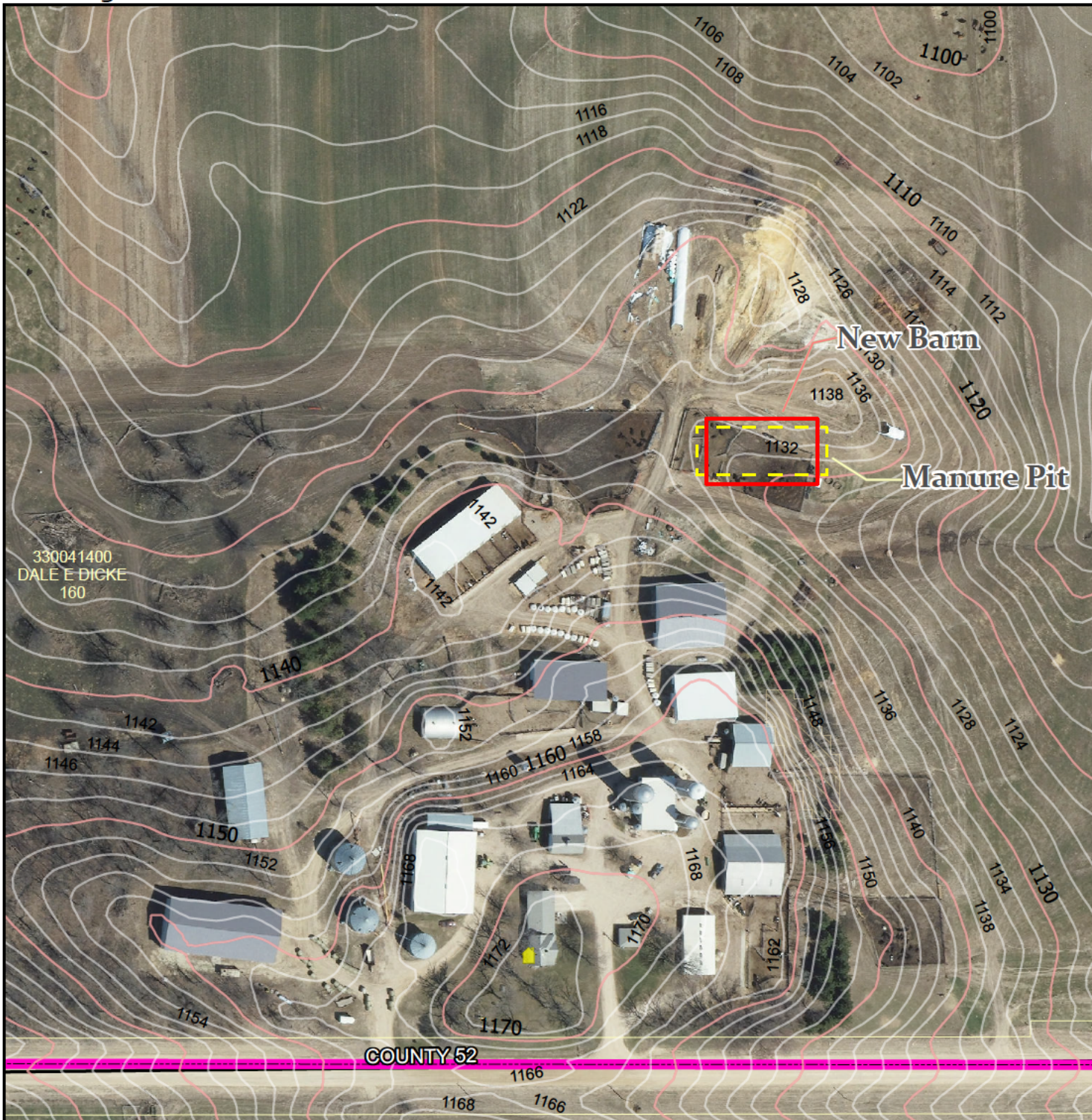
Public Hearing
June 15, 2020

Dale Dicke (Owner/Operator)

A-1 Zoned District

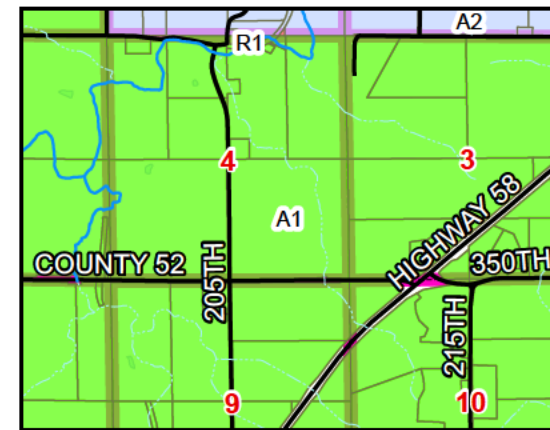
The SE 1/4 of Section 4 TWP 111 Range 15
in Goodhue Township

Expansion of an existing Feedlot above 500
Animal Units and construction of an animal
waste storage pit over 500,000 gallons



Legend

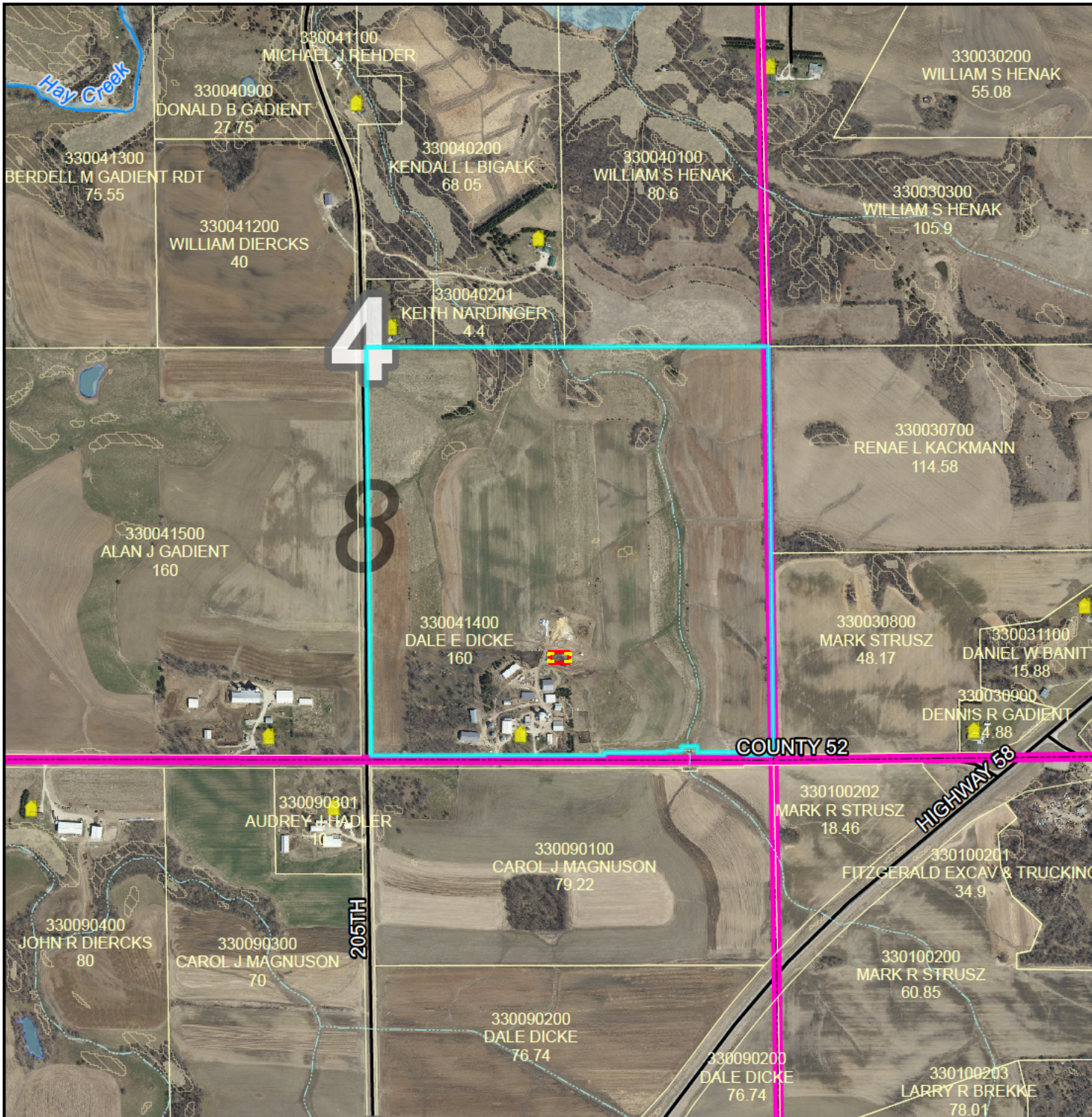
- | | |
|----------------------------|---------------------------------|
| Intermittent Streams | Bluff Impact Zones (% slope) 20 |
| Protected Streams | Bluff Impact Zones (% slope) 30 |
| Lakes & Other Water Bodies | FEMA Flood Zones |
| Shoreland | 2% Annual Chance |
| Historic Districts | A |
| Parcels | AE |
| Registered Feedlots | AO |
| Dwellings | X |
| Municipalities | |



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2018 Aerial Imagery
Map Created June, 2020 by LUM

MAP 02: VICINITY MAP



PLANNING COMMISSION

Public Hearing
June 15, 2020

Dale Dicke (Owner/Operator)

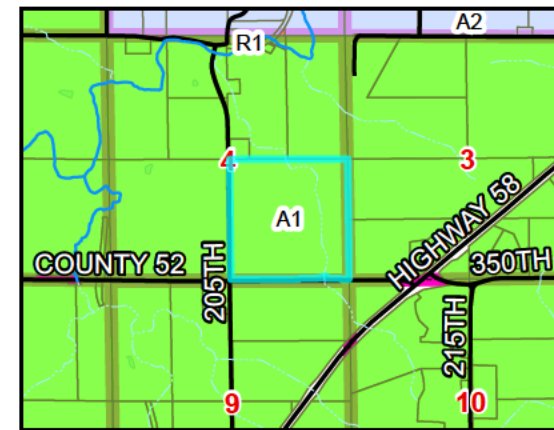
A-1 Zoned District

The SE 1/4 of Section 4 TWP 111 Range 15
in Goodhue Township

Expansion of an existing Feedlot above 500
Animal Units and construction of an animal
waste storage pit over 500,000 gallons

Legend

	Intermittent Streams		Bluff Impact Zones (% slope)
	Protected Streams		30
	Lakes & Other Water Bodies		2% Annual Chance
	Shoreland		A
	Historic Districts		AE
	Parcels		AO
	Registered Feedlots		X
	Dwellings		
	Municipalities		



0 350 700 1,400 2,100
US Feet

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2018 Aerial Imagery
Map Created June, 2020 by LUM



MAP 01: PROPERTY OVERVIEW

PLANNING COMMISSION

Public Hearing
June 15, 2020

Dale Dicke (Owner/Operator)

A-1 Zoned District

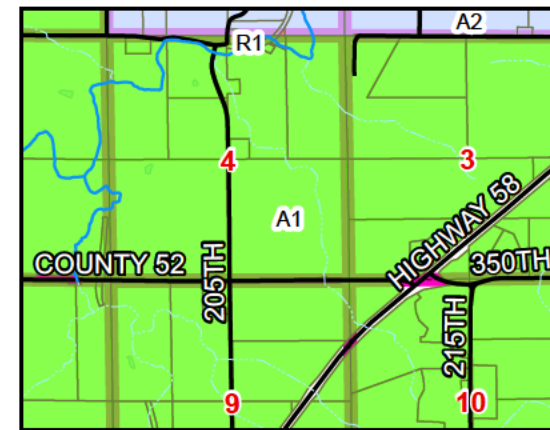
The SE 1/4 of Section 4 TWP 111 Range 15
in Goodhue Township

Expansion of an existing Feedlot above 500
Animal Units and construction of an animal
waste storage pit over 500,000 gallons



Legend

Intermittent Streams	Bluff Impact Zones (% slope) 20
Protected Streams	Bluff Impact Zones (% slope) 30
Lakes & Other Water Bodies	FEMA Flood Zones
Shoreland	2% Annual Chance
Historic Districts	A
Parcels	AE
Registered Feedlots	AO
Dwellings	X
Municipalities	



0 55 110 220 330 US Feet

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2018 Aerial Imagery
Map Created June, 2020 by LUM



Odors From Feedlots Setback Estimation Tool

OFFSET Ver 2.0
University of Minnesota
12/12/17

Farm Name Dale Dicke and Sons
Address or County Goodhue County
Evaluator K. Petit CFO
Date 6/3/2020

Clear All

OFFSET
Annoyance-free
91%

Source Edge to Nearest Neighbor (ft) 430
Source Edge to Property Line (ft) 600

Building Sources

Building Type	Width (ft)	Length (ft)	# of Similar Sources	Total Area (sqft)	Control Technology	% air treated
Dairy - free stall	70	120	1	8400	None	
None				0	None	
None				0	None	
None				0	None	
None				0	None	
None				0	None	
None				0	Biofilter	

AREA SOURCES

Source Description	Shape	Width (ft) (or Dia)	Length (ft)	Area (sqft)	Control Technology
Steel or concrete tank	Rectangle	52	140	7280	None
None	Rectangle			0	None
None	Rectangle			0	None
None	Rectangle			0	None
None	Rectangle			0	None
None	Rectangle			0	None
None	Rectangle			0	None

Building Sources	
Add Source Type	
Name of Source	
Odor Flux (ou/s/m2)	
H2S Flux (ug/s/m2)	
NH3 Flux (ug/s/m2)	
Documentation	
Add a Control Technology	
Name of technology	
Odor reduction (%)	
H2S reduction (%)	
NH3 Reduction (%)	
Documentation	

Area Sources	
Add a Source Type	
Name of Source	
Odor Flux (ou/s/m2)	
H2S Flux (ug/s/m2)	
NH3 Flux (ug/s/m2)	
Documentation	
Add Control Technology	
Name of technology	
Odor reduction (%)	
H2S reduction (%)	
NH3 Reduction (%)	
Documentation	

Odors From Feedlots Setback Estimation Tool

Farm Name
 Address or County
 Evaluator
 Date

Clear All

OFFSET Ver 2.0
 University of Minnesota
 1/23/2017

OFFSET
 Annoyance-free
 98%

Source Edge to Nearest Neighbor (ft)
 Source Edge to Property Line (ft)

Building Sources

Building Type	Width (ft)	Length (ft)	# of Similar Sources	Total Area (sqft)	Control Technology	% air treated
Dairy - free stall	70	120	1	8400	None	
None				0	None	
None				0	None	
None				0	None	
None				0	None	
None				0	None	
None				0	Biofilter	

AREA SOURCES

Source Description	Shape	Width (ft) (or Dia)	Length (ft)	Area (sqft)	Control Technology
Steel or concrete tank	Rectangle	52	140	7280	None
None	Rectangle			0	None
None	Rectangle			0	None
None	Rectangle			0	None
None	Rectangle			0	None
None	Rectangle			0	None
None	Rectangle			0	None

Building Sources	
Add Source Type	
Name of Source	<input type="text"/>
Odor Flux (ou/s/m2)	<input type="text"/>
H2S Flux (ug/s/m2)	<input type="text"/>
NH3 Flux (ug/s/m2)	<input type="text"/>
Documentation	<input type="text"/>
Add a Control Technology	
Name of technology	<input type="text"/>
Odor reduction (%)	<input type="text"/>
H2S reduction (%)	<input type="text"/>
NH3 Reduction (%)	<input type="text"/>
Documentation	<input type="text"/>

Area Sources	
Add a Source Type	
Name of Source	<input type="text"/>
Odor Flux (ou/s/m2)	<input type="text"/>
H2S Flux (ug/s/m2)	<input type="text"/>
NH3 Flux (ug/s/m2)	<input type="text"/>
Documentation	<input type="text"/>
Add Control Technology	
Name of technology	<input type="text"/>
Odor reduction (%)	<input type="text"/>
H2S reduction (%)	<input type="text"/>
NH3 Reduction (%)	<input type="text"/>
Documentation	<input type="text"/>

MAY 22 2020

Land Use Management

GOODHUE COUNTY CONDITIONAL/INTERIM USE PERMIT APPLICATION

Parcel # 330041400

Permit# 720.0021

PROPERTY OWNER INFORMATION

Last Name Dicke First Dale Email:
Street Address 20699 W 52 Blvd Phone
City Goodhue State MN Zip 55021 Attach Legal Description as Exhibit "A"
Authorized Agent Phone
Mailing Address of Landowner: Same
Mailing Address of Agent:

PROJECT INFORMATION

Site Address (if different than above):
Lot Size 160 acres Structure Dimensions (if applicable) 70x120 Building w/ 52x140 cement pit
What is the conditional/interim use permit request for? Cattle confinement building
Written justification for request including discussion of how any potential conflicts with existing nearby land uses will be minimized

DISCLAIMER AND PROPERTY OWNER SIGNATURE

I hereby swear and affirm that the information supplied to Goodhue County Land Use Management Department is accurate and true. I acknowledge that this application is rendered invalid and void should the County determine that information supplied by me, the applicant in applying for this variance is inaccurate or untrue. I hereby give authorization for the above mentioned agent to represent me and my property in the above mentioned matter.

Signature of Landowner: Dale Dicke Date 5-18-2020
Signature of Agent Authorized by Agent:

TOWNSHIP INFORMATION

Township Zoning Permit Attached? If no please have township complete below:

By signing this form, the Township acknowledges being made aware of the request stated above. In no way does signing this application indicate the Township's official approval or denial of the request.

Signature Title Date

Comments:

COUNTY SECTION

COUNTY FEE \$350 RECEIPT # 17263 DATE PAID 5/22/20

Applicant requests a CUP/IUP pursuant to Article Section Subdivision of the Goodhue County Zoning Ordinance
What is the formal wording of the request?

Shoreland Lake/Stream Name Zoning District
Date Received Date of Public Hearing DNR Notice City Notice

Action Taken: Approve Deny Conditions:

GOODHUE COUNTY CONDITIONAL/INTERIM USE PERMIT APPLICATION

PROJECT SUMMARY

Please provide answers to the following questions in the spaces below. If additional space is needed, you may provide an attached document.

1. Description of purpose and planned scope of operations (including retail/wholesale activities).

Cattle Feeding Operation from baby calves to market ready animals- sold to packing Company.

2. Planned use of existing buildings and proposed new structures associated with the proposal.

Utilize older buildings for feed storage, and utilize new cattle feeding facility

to create labor efficiency as well as fully contain manure from the cattle in this facility.

3. Proposed number of non-resident employees.

0

4. Proposed hours of operation (time of day, days of the week, time of year) including special events not within the normal operating schedule.

Normal operating schedule of a cattle farm.

5. Planned maximum capacity/occupancy.

300

6. Traffic generation and congestion, loading and unloading areas, and site access.

No changes from current activity on our farm.

7. Off-street parking provisions (number of spaces, location, and surface materials).

na

8. Proposed solid waste disposal provisions.

cattle slatted barn with a fully enclosed pit.

9. Proposed sanitary sewage disposal systems, potable water systems, and utility services.

na

10. Existing and proposed exterior lighting.
no changes

11. Existing and proposed exterior signage.
na

12. Existing and proposed exterior storage.
na

13. Proposed safety and security measures.
na

14. Adequacy of accessibility for emergency services to the site.
na

15. Potential for generation of noise, odor, or dust and proposed mitigation measures.
No increase from current generation in any of these categories.

16. Anticipated landscaping, grading, excavation, filling, and vegetation removal activities.
Excavate to pour cement for a pit.

17. Existing and proposed surface-water drainage provisions.
na

18. Description of food and liquor preparation, serving, and handling provisions.
na

19. Provide any other such information you feel is essential to the review of your proposal.
na

GOODHUE COUNTY

Goodhue Township/County Zoning Application

PERMIT # _____
Parcel # 330641400

APPLICANT INFORMATION

Last Name Dicke First Dele M.I. E Date 5-20-2020
Street Address 20699 Co 52 Blvd Phone (_____) _____
City Goodhue State MN ZIP 55027
Township Goodhue 111 N Range 15w Section 4

PROJECT INFORMATION

Site Address 20699 Co 52 Blvd
Zoning District _____ Lot Size 160 acres Structure Dimensions Barn- 70x120
Type of Project Cattle building Proposed Use Ag - cattle Feeding Pit - 52x140
Structure Type Frame Ag Bldg Shoreland? YES NO Replacement? YES NO
Lake/Stream Name _____ Lake/Stream ID # _____
Variance # _____ Conditional Use Permit # _____

DISCLAIMER AND SIGNATURE

I hereby apply for a zoning permit and I acknowledge that the information above is complete and accurate, that the work will be in conformance with the ordinances and codes of Goodhue County. The applicant also understands by signing this application he / she could be held responsible as representative of this project for any violation of compliance with all applicable laws and ordinances of Goodhue County. This permit may be suspended or revoked if the permit has been issued in error or on the basis of incorrect information supplied or in violation of any ordinance or regulation of Goodhue County. All provisions of law and ordinances governing this type of work will be complied with whether specified herein or not.

Signature [Signature] Date 5/22/20

TOWNSHIP APPROVALS

I hereby certify that the above described project has been approved by the Township Board, and the structure and use will meet all Township Codes and Ordinances if constructed as indicated.

Signature Brenda L. Hinsch Title Clerk Date 4-15-20

Signature _____ Title _____ Date _____

COUNTY APPROVALS

Environmental Health
Signature _____ Date _____

Application is Hereby GRANTED DENIED to _____
in accordance with the application, site plan, addendum forms, specifications and all other supporting data, unless specified hereinafter in the general provisions or comments

By order of Zoning Administrator/Planner: _____ Date _____

Additional Comments _____

*Zoning Permits will expire within **one year** of permit date approval*

New Address: _____

GOODHUE SWCD
 104 EAST 3RD AVENUE - PO Box 335
 GOODHUE, MN 55027
 651-923-5286 Ext 4

Feedlot registration form

Feedlot Program

Doc Type: Feedlot Registration

Instructions: Minn. R. ch. 7020 requires most owners of livestock operations to provide information requested in this form to the Minnesota Pollution Control Agency (MPCA) at least once in a four-year cycle, unless a permit application has been made. Feedlots with a National Pollutant Discharge Elimination System (NPDES) or State Disposal System (SDS) permit cannot use this form to document change of name or ownership.

Facility name and address The information below reflects a change to the name of an existing registered facility.

Facility name: Dale Dick & Sons Registration number: 049-73273
 Facility Address: 20699 Co 52 Blvd Parcel ID number: 33-004-1400
 City: Goodhue State: MN Zip code: 55027
 Phone: [REDACTED] Email: [REDACTED]

Ownership information The information below reflects a change of ownership of an existing registered facility.

Feedlot owner Same as feedlot name and address
 Name: Dale, Adam, Alan Dick
 Address: 20699 Co 52 Blvd
 City: Goodhue State: MN
 Phone: [REDACTED]
 Email: [REDACTED]

Contact person Same as feedlot owner information
 Name: _____
 Address: _____
 City: _____ State: _____
 Phone: _____ Zip: _____
 Email: _____

Facility locational information

County: Goodhue City/Township: Goodhue

Township (26-71 or 101-168)	Range (1-51)	Section (1-36)	¼ Section (NW, NE, SW, SE)	¼ of ¼ Section (NW, NE, SW, SE)
<u>111</u>	<u>15</u>	<u>4</u>	<u>SE</u>	<u>SW</u>

Any surface waters or tile intakes within 1,000 feet of the facility? (If Yes, indicate types below) Yes No
 Lake/Pond larger than 25 acres Wetland Drainage ditch River/Stream/Creek Tile Intake

Is any part of the facility within 300 feet of a river/stream? Yes No
 Any part of the facility located within a delineated flood plain (100 year flood)? Yes No
 Any part of the facility located within designated shoreland? Yes No
 Any part of the facility within 300 feet of a known sinkhole? Yes No

Facility operations information (Indicate components that are currently part of your livestock or poultry operation)

Animals on pasture for part of the year Yes No
 Open lots (dirt, concrete, other) that are designed as animal holding areas Yes No
 Buildings that are designed for animal confinement or as animal holding areas Yes No
 If yes to either above, what is the shortest distance from an animal holding area to a well? (including unused or unsealed wells) 75' feet
 A liquid manure storage structure Yes No
 A manure stockpile (solid manure storage area) Yes No
 If yes to either above, what is the shortest distance from a manure storage area to a well? (including unused or unsealed wells) _____ feet

If you closed a liquid manure storage area or permanent manure stockpile since your last registration, complete the following:

Date closed: _____ Liquid storage Solid storage
 Date closed: _____ Liquid storage Solid storage

Number of animals at the facility

If you currently do not maintain animals at the site, list the date that you last had animals (mm/dd/yyyy): / /

Enter in column C the maximum number of animals that you have maintained (standing herd or flock size) at the facility at any given time in the past five years.

Then calculate the animal units in column D by multiplying the value in column C by the value in column B.

A	B	C	D
Animal type	Animal unit factor	Maximum number (head) maintained at anytime in past 5 years	Animal Units (B x C)
Dairy – mature cow (milked or dry) over 1,000 lbs.	1.4		
Dairy – mature cow (milked or dry) under 1,000 lbs.	1.0		
Dairy – heifer	0.7	20	14
Dairy – calf	0.2	125	25
Beef – slaughter steer or stock cow	1.0	200	200
Beef – feeder cattle (stocker or backgrounding) or heifer	0.7	330	231
Beef – cow and calf pair	1.2	85	102
Beef – calf	0.2		
Veal – calf	0.2		
Swine – over 300 pounds	0.4		
Swine – between 55 and 300 pounds	0.3		
Swine – under 55 pounds (and separated from sow)	0.05		
Horse	1.0		
Sheep or lamb	0.1		
Chickens – all sizes with liquid manure system	0.033		
Chickens – broiler 5 lbs. and over – dry manure system	0.005		
Chickens – broiler under 5 lbs. – dry manure system	0.003		
Chickens – layers 5 lbs. and over – dry manure system	0.005	10	0.05
Chickens – layers under 5 lbs. – dry manure system	0.003		
Turkeys – over 5 lbs.	0.018		
Turkeys – under 5 lbs.	0.005		
Ducks – dry manure system	0.01		
Ducks – liquid manure system	0.01		
Other animals (not listed above – specify in space below):			
			Total AU 522.05

Signature (person completing the form) and Submittal

Print name: Alan Dicke

Title: _____

Signature: Alan Dicke

Date: 4-15-19



Goodhue County
Soil & Water Conservation District

104 East 3rd Avenue
P.O. Box 335
Goodhue, MN 55027

Phone: 651-923-5286 Ext. 3
FAX: 651-923-5304
www.goodhueswcd.org

**NOTICE OF CONSTRUCTION OR EXPANSION
Of An Animal Feedlot or Manure Storage Area**

Part 1. All Facilities: Notice to County, Town and City Authorities

An owner of an animal feedlot or manure storage area (facility) proposing to construct a new or expand an existing facility of any animal unit capacity shall complete Part 4 of this form and submit a copy to all local units of government that may have zoning authority over the project (e.g., if the project is located in a town, submit the form to the town and the county).

Construction or expansion may begin upon receiving written or verbal approval from all authorities list in Parts 1 and 2 of this form. If the owner is not contacted by all authorities listed in Parts 1 and 2, construction may begin 30 days after completion of this notice.

Part 2. Less than 300 Animal Units: Notice to MPCA or Delegated County

An owner of a facility who is proposing to construct a new or expand an existing facility to a capacity of fewer than 300 animal units, shall complete Part 4 of this form and submit a copy to the MPCA or delegated county feedlot officer. Notification under this section is complete if the owner has submitted plans and specifications for a new or modified liquid manure storage area in accordance with Minn. Rule 7020.2100, subpart 4. **Construction or expansion may begin upon receiving written or verbal approval from all authorities list in Parts 1 and 2 of this form. If the owner is not contacted by all authorities listed in Parts 1 and 2, construction may begin 30 days after completion of this notice.**

Part 3. 500 or More Animal Units: Notice to residents and property owners within 5000 feet

A. **Notice Methods.** An owner proposing to construct a new or expand an existing facility of 500 or more animal units (after construction or expansion), shall no later than ten business days after a permit application is submitted to the MPCA or delegated county, provide notice to each resident and each owner of real property within 5,000 feet of the perimeter of the proposed facility. This notice must be completed by one of the following methods:

Newspaper notice. Publish in a newspaper of general circulation within the affected area a notification containing the information in Part 4 of this form;

Written notice. Send a written notice to each resident and owner of real property containing the information in Part 4 of this form, delivered by first class mail or in person; or

Conditional use permit notice. Provide equal or greater notification required as part of obtaining a county conditional use permit.

B. **Permit Application Requirements.** An owner proposing to construct a new or expand an existing facility with a capacity of 500 or more animal units, shall complete Parts 4 and 5 of this form and submit a copy to the MPCA or delegated county feedlot officer with a permit application.

C. Extensions for Construction Short-Form and Interim Permits. An owner issued a construction short form or interim permit for a facility that will have a capacity of 500 or more animal units, and the owner requests an extension to the permit, must complete the notice requirements in Parts 4, 5 and 6 of this form, as applicable.

Construction Short Form Permits. If the work for which a construction short-form permit was issued is not complete upon expiration of the permit, the expiration date of the permit may be extended by no more than 24 months provided the owner is currently eligible for the same permit and the owner completes the notification requirements under Minn. R. 7020.2000, subp. 4. Animal Feedlot Rules Chapter 7020

Interim Permits. If the pollution hazard for which an interim permit was issued is not corrected upon expiration of the permit, the expiration date may be extended by no more than 90 days if the facility is currently eligible for the same permit and the owner completes the notification facility is currently eligible for the same permit and the owner completes the notification requirements under Minn. R. 7020.2000, subp 4.

Part 4. All Facilities: Required Notice Information

Name of owner(s) or legal name of facility: Dale Dicke

Location: Goodhue Goodhue 4 SE SW
County Township Section ¼ Sec. ¼ of ¼

Type (species) of livestock: Finishing cattle Total animal units: _____

Type(s) of confinement buildings, lots and animal holding areas: Confinement building going to replace some existing open lots,

Type(s) of manure storage areas: Cement pit, per pack

List the local authorities that have been notified in accordance with Part 1 of this form:
County: _____ Township: Brenda Hinsch City: _____

Part 5. 500 or More Animal Units: Owner's Certification (Complete if required in Part 3)

I hereby certify that I am an owner of the facility described in Part 4 of this form and that I have completed, or will complete, the notice requirements of Minn. R. 7020.2000, subp. 4. I have attached the information described below that documents that I have taken the necessary steps to complete the(circle one: newspaper notice, written notice, conditional use permit notice) notice method no later than ten business days after my permit application is submitted to the MPCA or delegated county. I also certify that the information provided in this form is, to the best of my knowledge and belief, true, accurate and complete.

Describe the attached documentation: _____

→ Part 6. Signature of owner: Dale Dicke Date: apr. 130, 2020

Part 7. 500 or More Animal Units: Permit Extension Information (Complete if required in Part 3.C.)

Permit Number: _____ Date on which the original permit was issued: _____

List the new proposed date of completion: _____

For office use only: Date received: _____ Notes: _____

Return this notification form to: Goodhue SWCD 104 East 3rd Ave. P.O. Box 335 Goodhue MN 55027

Animal Mortality Plan

Purpose: This Animal Mortality Plan is for the handling of dead animals in accordance with State requirements, including Minn. Stat. § 35.82 and Minn. R. chs. 1719.0100 to 1719.4600 and 7011.1215.

Facility name: Dale Dicke & Sons Feedlot registration no. 049-73273
 Owner/Operator name: Adam & Aln Dicke Feedlot permit no. _____

Planned method of animal disposal: Complete the table below by identifying the animal type, the primary method and the secondary method of disposal of dead animals at your feedlot. The legal methods of disposal are listed below and the minimum requirements for each management option are described on the following page. Please make sure the locations of burial sites, incinerators, temporary mortality storage, and/or compost areas are indicated on the site sketch of your facility included with the permit application.

Catastrophic loss: A catastrophic event such as a fire, collapse, tornado, floods or loss of power that results in a mass amount of animal mortalities shall be reported within 24 hours after the event started. Notifications should include the Minnesota Department of Public Safety Duty Officer at 800-422-0798 and the MPCA.

Animal type	Primary method	Secondary method	Catastrophic loss
<u>Cattle</u>	<u>Compost</u>	<u>Render</u>	Minnesota Duty Officer: 1-800-422-0798

Check here: By checking here, I indicated that I have read and understand the minimum requirements listed on the second page of this form for the dead animal disposal options identified above for my operation. I agree to adhere to and follow the minimum requirements for the proper disposal of dead animals.

Legal Methods of Disposal

Species	Method				Exempt by Law
	Bury	Incinerate	Render	Compost	
Poultry	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Swine	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Cattle	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Horses	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sheep/Goats	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Household pets	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wild animals	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Game farm/Exotic animals	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

*If composting cattle, horses, or game/exotic animals, contact the Minnesota Board of Animal Health at 651-298-2942 or 800-627-3529.

Animal carcasses should be disposed of as soon as possible, within 48-72 hours. Any vehicles transporting carcasses must be: leak proof, covered, inspected, and permitted by the Minnesota Board of Animal Health (if owner is transporting his own dead animals a permit is not required).

Bury

Operators choosing to bury animals must select sites very carefully due to the high risk of ground-water contamination. Buried carcasses must:

- Stay five (5) feet above seasonal high water table.
- Stay 1000' away from lakes and 300' away from rivers, streams, ditches, etc.
- Be covered immediately with enough soil to keep scavengers out (Minnesota Board of Animal Health guidelines indicate three (3) feet is sufficient).
- Not be placed in sandy or gravelly soil types.
- Maintain at least ten (10) feet vertical separation between dead animals and bedrock.

Compost

The composting process must, at a minimum, meet the following:

- The owner of the compost facility shall have a written protocol for the operation containing at least the minimum steps listed below and instructing all employees to follow the protocol.
- Mortalities must be processed daily.
- A base of litter is required. The carcasses or discarded animal parts and litter plus bulking agent are added in layers so that the carbon to nitrogen ratio is in the range of 15:1 to 35:1 (optimal 23:1).
- The carcasses or discarded animal parts must be kept six (6) inches from the edges and sealed with litter each day.
- The temperature must be taken and recorded on site daily. The compost temperature must reach a minimum of 130 degrees Fahrenheit. Approximately seven (7) to ten (10) days are needed in each heat cycle to process the carcasses and kill the pathogens. The temperature drop indicates the time to mix and move the compost. A minimum of two (2) heat cycles is required.
- The finished compost must not contain viable pieces of soft tissue and must be handled, stored, and used according to all other applicable rules.

In addition, composting facilities must be:

- Built on an impervious*, weight-bearing pad that is large enough to allow equipment to maneuver.
- Covered with a roof to prevent excessive moisture on the composting material, but if sawdust or other water-repelling material is used as the bulking agent, a roof may not be necessary.
- Built of rot-resistant material that is strong enough to withstand the force exerted by equipment.
- Large enough to handle each day's normal mortality through the endpoint of the composting which consists of a minimum of two (2) heat cycles.

Incinerate

Incinerator must be:

- Capable of producing emissions not to exceed 20 percent opacity.
- Fitted with an afterburner that maintains flue gases at 1,200 degrees Fahrenheit for at least 0.3 seconds.
- Ash from the incinerator must be handled in such a manner as to prevent particulate matter from becoming airborne.

In addition, it is recommended that the incinerator is large enough to handle each day's mortalities.

Render

Carcasses left at an off-site pickup point must be:

- Kept in an animal-proof, enclosed area.
- At least 200 yards from a neighbor's buildings.
- Picked up within 72 hours.
- If the enclosed area is refrigerated to less than 45 degrees Fahrenheit, the carcasses must be picked up within seven (7) days.

Alternative methods

Alternative methods of mortality disposal including, but not limited to, pet food processing, fur farm consumption, lactic fermentation, extrusion, and experimental composting, require a permit from the Minnesota Board of Animal Health. For more information on alternative methods of carcass disposal, contact the Board of Animal Health at 651-296-2942.

*For the purpose of compost pad construction, Class V gravel material is not considered to be impervious.

Manure Storage, Handling, and Testing Information

 Facility Name: Dale Dicke and son's

 NPDES or SDS Permit? No Permit Number: _____

Owner/Operator Name: _____

 Date Last Revised: _____ Registration Number: 049-73273

Version 8.12 Last Updated: 3/2/20

Manure Sources	Manure Source #1	Manure Source #2	Manure Source #3	Manure Source #4
Description of Manure Source <small>Group sources with similar nutrient content if they have identical animal type, water usage, feed rations, and manure storage</small>				
	Weaned milt shed #2	120 head barn	Dairy Heifers	weaned milt shed #1
Livestock Information				
Predominate Animal Type <small>(Contributing to Manure Source)</small>	Beef Feeder (High Energy)	Beef Feeder (High Energy)	Dairy Heifer	Beef Feeder (High Energy)
Average Animal Weight	250 lbs	450 lbs	700 lbs	250 lbs
Animal Number	60	120	20	60
Length of Time Livestock Spend In Facility	365 days/yr	365 days/yr	200 days/yr	365 days/yr
Additional Animal Type <small>(Contributing to Manure Source)</small>				
Average Animal Weight	lbs	lbs	lbs	lbs
Animal Number				
Length of Time Livestock Spend In Facility	days/yr	days/yr	days/yr	days/yr
Storage Information				
Storage Type	Manure Pack	manure pack	Manure Pack	manure pack
Capacity	45 tons	400 tons	30 tons	45 tons
Storage Length	4 months	4 months	6 months	4 months
Application Methods				
Commercial Applicator (Yes/No or Name)	no	No	No	no
Spreader Type	Solids Spreader	Solids Spreader	Solids Spreader	Solids Spreader
How Volume/Tonnage Determined per Load	Spreader Volume	Spreader Volume	Spreader Volume	Spreader Volume
How Application Rate is Calibrated	Acres Covered by One Load	Acres Covered by One Load	Acres Covered by One Load	Acres Covered by One Load
Manure Analysis - Existing facilities should use actual manure test results				
Sampling Frequency	every 2 years	Every 2 Years	Every 2 Years	Every 2 Years
Sampling Methods	Sample from Spreader Load	Sample from Spreader Load	Sample from Spreader Load	Sample from Spreader Load
Date Last Analyzed		01.17.19	01/17/19	01.17.19
Basis for N,P, & K Values Below	Estimate	Estimate	Last Year's Sample	Estimate
Total N - (do not enter lab estimated availability)	11 lbs/ton	11 lbs/ton	15 lbs/ton	11 lbs/ton
Total P ₂ O ₅ - (do not enter lab estimated availability)	7 lbs/ton	7 lbs/ton	8 lbs/ton	7 lbs/ton
Total K ₂ O - (do not enter lab estimated availability)	11 lbs/ton	11 lbs/ton	10 lbs/ton	11 lbs/ton
Annual Generation - Existing facilities should use actual production values				
Total Manure Produced per Year (Estimated)	86 tons	309 tons	32 tons	86 tons
Total Manure Produced per Year (Actual)	120 tons	320 tons	60 tons	120 tons
Annual N Produced	1,320 lbs	3,520 lbs	900 lbs	1,320 lbs
Annual P ₂ O ₅ Produced	840 lbs	2,240 lbs	480 lbs	840 lbs
Annual K ₂ O Produced	1,320 lbs	3,520 lbs	600 lbs	1,320 lbs

Average Book Values	
N	11
P ₂ O ₅	7
K ₂ O	11

Average Book Values	
N	11
P ₂ O ₅	7
K ₂ O	11

Average Book Values	
N	10
P ₂ O ₅	3
K ₂ O	7

Average Book Values	
N	11
P ₂ O ₅	7
K ₂ O	11

Manure Storage, Handling, and Testing Information

Facility Name: Dale Dicke and son's
 Owner/Operator Name: _____

NPDES Permit Coverage? No
 Date Last Revised: _____

Permit Number: _____
 Registration Number: 049-73273

Manure Sources	Manure Source #5	Manure Source #6	Manure Source #7	Manure Source #8
Description of Manure Source <small>Group sources with similar nutrient content if they have identical animal type, water usage, feed rations, and manure storage</small>	Calf barn and hutches	New Slat barn/Pit Barn		
Livestock Information				
Predominate Animal Type <small>(Contributing to Manure Source)</small>	Dairy Calf	Beef Feeder (High Energy)		
Average Animal Weight	150 lbs	1,000 lbs	lbs	lbs
Animal Number	160	300		
Length of Time Livestock Spend In Facility	365 days/yr	365 days/yr	days/yr	days/yr
Additional Animal Type <small>(Contributing to Manure Source)</small>				
Average Animal Weight	lbs	lbs	lbs	lbs
Animal Number				
Length of Time Livestock Spend In Facility	days/yr	days/yr	days/yr	days/yr
Storage Information				
Storage Type	Manure Pack	Underfloor Concrete Pit		
Capacity	60 tons	700,000 gals		
Storage Length	4 months	12 months		
Application Methods				
Commercial Applicator (Yes/No or Name)	No	No		
Spreader Type	Solids Spreader	Liquid Tanker		
How Volume/Tonnage Determined per Load	Spreader Volume	Spreader Volume		
How Application Rate is Calibrated	Acres Covered by One Load	Acres covered by one load		
Manure Analysis - Existing facilities should use actual manure test results				
Sampling Frequency	Every Year	Every year		
Sampling Methods	Sample from Spreader Load	Estimate (New Structure)		
Date Last Analyzed				
Basis for N,P, & K Values Below	Book Value	Estimate		
Total N - (do not enter lab estimated availability)	10 lbs/ton	54 lbs/1000 gal		
Total P ₂ O ₅ - (do not enter lab estimated availability)	3 lbs/ton	21 lbs/1000 gal		
Total K ₂ O - (do not enter lab estimated availability)	5 lbs/ton	29 lbs/1000 gal		
Annual Generation - Existing facilities should use actual production values				
Total Manure Produced per Year (Estimated)	134 tons	642,732 gals		
Total Manure Produced per Year (Actual)	100 tons	gals		
Annual N Produced	1,000 lbs	34,708 lbs	lbs	lbs
Annual P ₂ O ₅ Produced	300 lbs	13,658 lbs	lbs	lbs
Annual K ₂ O Produced	500 lbs	18,639 lbs	lbs	lbs

Average Book Values	
N	10
P ₂ O ₅	3
K ₂ O	5

Average Book Values	
N	29
P ₂ O ₅	18
K ₂ O	26

Average Book Values	
N	
P ₂ O ₅	
K ₂ O	

Average Book Values	
N	
P ₂ O ₅	
K ₂ O	

PROPOSED WASTE VOLUME GENERATED (PER PIT)

*ANNUAL MANURE VOLUME = 574,200 GALLONS = 300 HEAD X 5.8 GPD X 330 DAYS

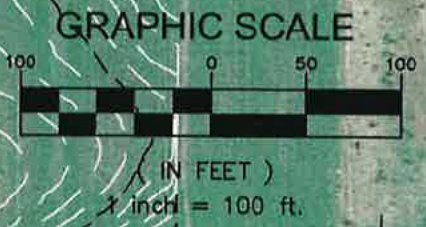
*PROPOSED PIT VOLUME = 606,129 GALLONS = 141'-8" X 52'-0" X 11' X 7.48

*DAYS STORAGE = 385 DAYS = (606,129 GALLONS / 574,200 GALLONS) X 365 DAYS

The following confinement manure generation rates values are listed in the American Society of Agricultural & Biological Engineers (ASABE) Manure Production & Characteristics Standard D384.2, Table 3a: Finishing Cattle = 7,400 lbs. manure per finished animal @ 153 days Finishing Time Period & 63 lbs/C.F. = 0.77 C.F./day = 5.8 gal./day/head

PROPOSED HIGH POINT OF PERIMETER DRAIN TILE PLACED AROUND THE PIT FOOTING, SLOPE TILE @ 0.1% TO NE CORNER OF PIT

PROPOSED PERIMETER TILE TO CONNECT TO EXISTING FIELD TILE. LOCATE OUTLET PRIOR TO CONSTRUCTION



659' TO NEAREST WATER SOURCE

PROPOSED SILT FENCE, BALE CHECKS OR EARTHEN DIKES FOR EROSION PROTECTION

PROPOSED 300 HEAD FINISHING CATTLE DEEP PIT CONFINEMENT BARN (122'-6" x 72'-0") w/ 12" DEEP CONCRETE PIT (143'-4" x 53'-8") BELOW SLATTED BARN FLOOR, BARN FLOOR ELEVATION 1137, BOTTOM OF PIT ELEVATION 1125 (SEE DETAIL)

PROPOSED 18' CONCRETE FEED ALLEY

1878' TO RESIDENCE

1681' TO RESIDENCE

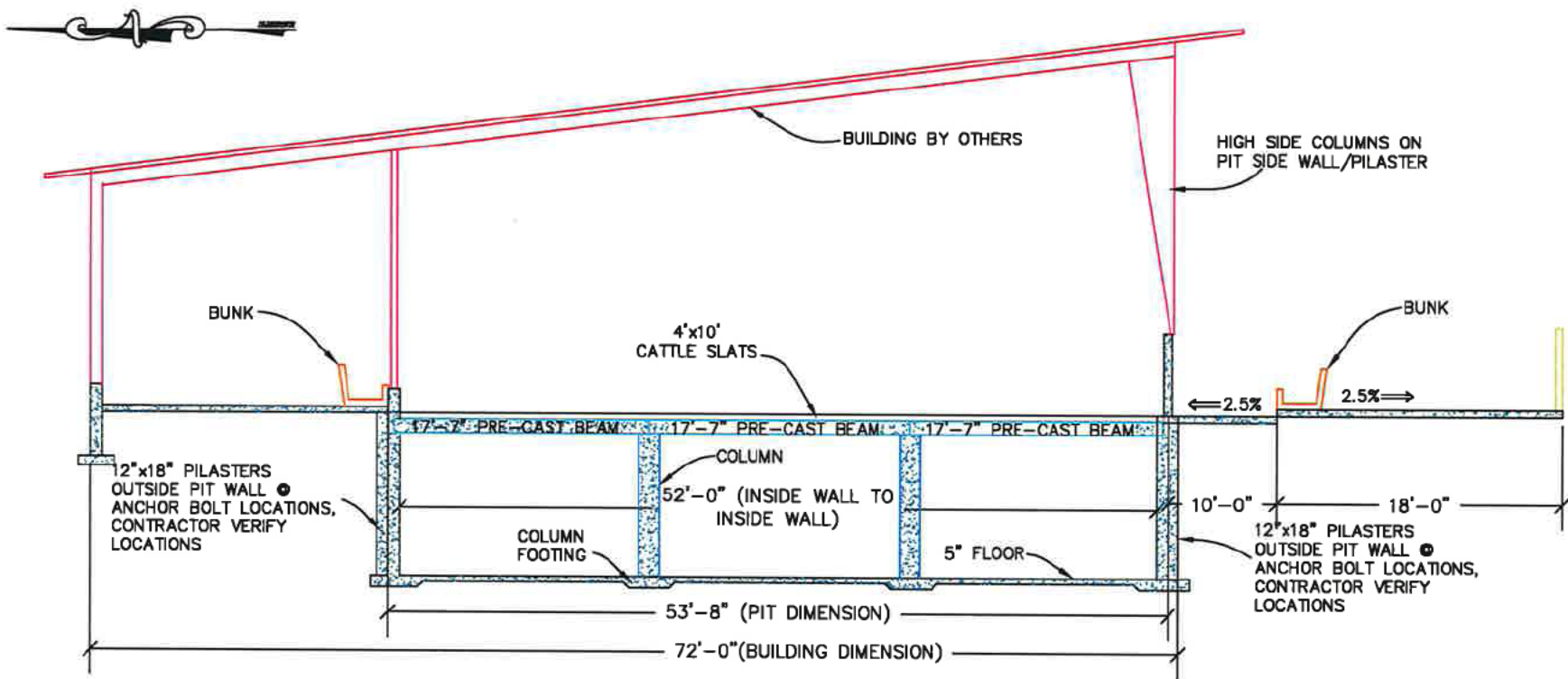
1060' TO POTENTIAL SINKHOLE

PROPOSED CONSTRUCTION WILL DISTURB LESS THAN 3 ACRE AND CREATE LESS THAN 1 ACRE OF IMPERVIOUS AREA. A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN DEVELOPED TO MINIMIZE EROSION BUT THE ROOF WATER RUNOFF WILL NOT BE COLLECTED OR CONTAINED.

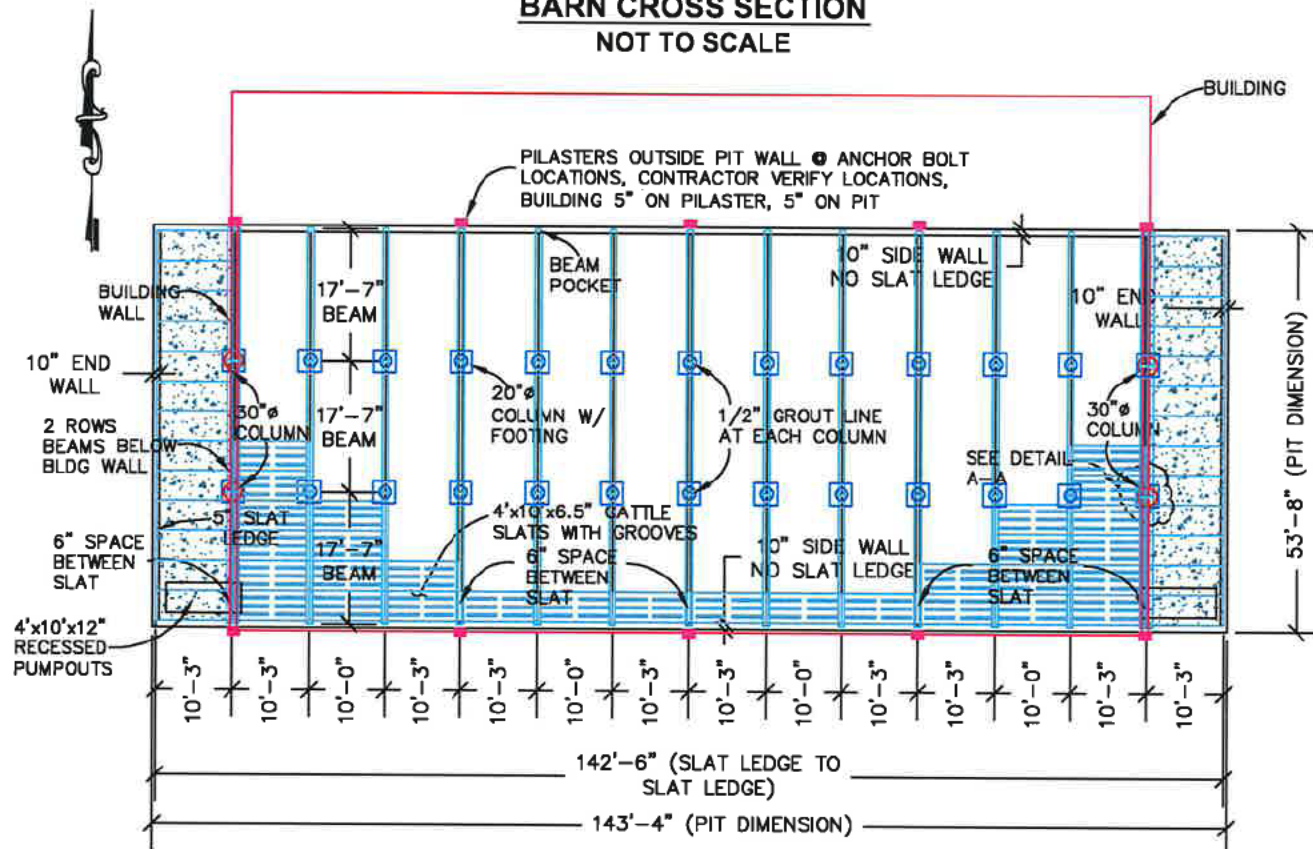
ASSUMED SOUTH LINE OF SECTION 4, T-111-N, R-15-W, GOODHUE COUNTY, MINNESOTA

350TH STREET

***IMPORTANT NOTE - PRECAST DIMENSIONS CHANGE BETWEEN SUPPLIERS. PRECAST DIMENSIONS MUST BE VERIFIED WITH THE OWNER PRIOR TO CONSTRUCTION.**

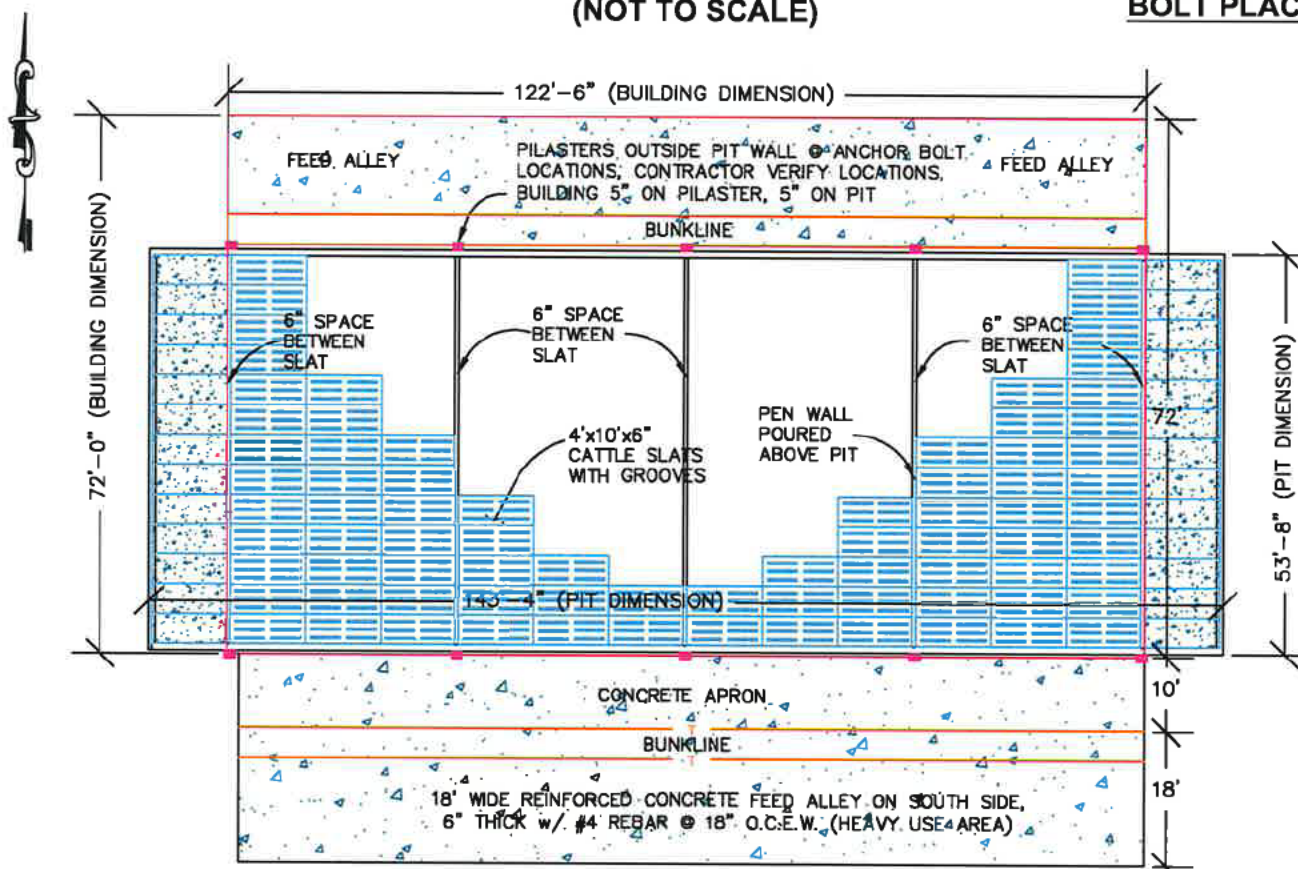


BARN CROSS SECTION
NOT TO SCALE



PIT FLOOR PLAN
(OUTSIDE DIMENSIONS 143'-4" x 53'-8")
(NOT TO SCALE)

****NOTE** - SEE BUILDING PLANS FOR ANCHOR BOLT PLACEMENT/PILASTER LOCATIONS**



FLOOR PLAN
(BUILDING DIMENSIONS 122'-6"x72'-0")
(PIT DIMENSIONS 143'-4"x53'-8")
(NOT TO SCALE)



Search by: Zoom In Tools Base Map



Minnesota Unique Well Number

170782

County Goodhue
Quad Goodhue
Quad ID 69A

MINNESOTA DEPARTMENT OF HEALTH WELL AND BORING REPORT

Minnesota Statutes Chapter 1031

Entry Date 11/04/1987
Update Date 02/14/2014
Received Date

Well Name GADIENT,	Township 111	Range 15	Dir Section W 4	Subsection ACCCDC	Well Depth 335 ft.	Depth Completed 335 ft.	Date Well Completed 12/21/1979
Elevation 1105	Elev. Method 7.5 minute topographic map (+/- 5 feet)	Drill Method Non-specified Rotary		Drill Fluid	Use domestic Status Active		
Address C/W 34470 205TH AV GOODHUE MN					Well Hydrofractured? Yes <input type="checkbox"/> No <input type="checkbox"/> From To		
Stratigraphy Information					Casing Type Step down Joint Welded		
Geological Material	From	To (ft.)	Color	Hardness	Drive Shoe? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Above/Below 1 ft.		
SOIL	0	3	BROWN	MEDIUM	Casing Diameter Weight Hole Diameter		
SANDROCK	3	45	YELLOW	SOFT	4 in. To 301 ft.	lbs./ft.	12 in. To 45 ft.
LIMEROCK	45	280	YELLOW	HARD	8 in. To 45 ft.	lbs./ft.	8 in. To 301 ft.
SANDROCK	280	335	GRAY	MEDIUM	4 in. To 335 ft.		
Open Hole From 301 ft. To 335 ft.					Screen? <input type="checkbox"/> Type Make		
Static Water Level 150 ft. land surface Measure 12/21/1979					Pumping Level (below land surface) 150 ft. hrs. Pumping at 15 g.p.m.		
Wellhead Completion					Well Grouted? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Specified		
Pitless adapter manufacturer					Model		
<input type="checkbox"/> Casing Protection					<input checked="" type="checkbox"/> 12 in. above grade		
<input type="checkbox"/> At-grade (Environmental Wells and Borings ONLY)							
Grouting Information					Material Amount From To		
neat cement					9.5 Cubic yards 0 ft. 301 ft.		
Nearest Known Source of Contamination					Well disinfected upon completion? <input type="checkbox"/> Yes <input type="checkbox"/> No		
5280 feet South Direction					Barnyard Type		
Pump <input type="checkbox"/> Not Installed Date Installed 12/21/1979					Manufacturer's name FAIRBANKS		
Model Number 4C10015 HP 1 Volt 230					Length of drop pipe 168 ft Capacity 10 g.p. Typ Submersible		
Abandoned					Does property have any not in use and not sealed well(s)? <input type="checkbox"/> Yes <input type="checkbox"/> No		
Variance					Was a variance granted from the MDH for this well? <input type="checkbox"/> Yes <input type="checkbox"/> No		
Miscellaneous					First Bedrock St.Peter Sandstone Aquifer Jordan		
Last Strat Jordan Sandstone Depth to Bedrock 3 ft					Located by Minnesota Geological Survey		
Locate Method Digitized - scale 1:24,000 or larger (Digitizing Table)					System UTM - NAD83, Zone 15, Meters X 530174 Y 4921804		
Unique Number Verification Information from Input Date 05/28/1996					Angled Drill Hole		
Well Contractor					Well Contractor		
Maher Well Co. 19301 RANISATE, J.					Licensee Business Lic. or Reg. No. Name of Driller		
Remarks					Minnesota Well Index Report 170782 Printed on 06/04/2020 HE-01205-15		

120185

County Goodhue
Quad Goodhue
Quad ID 69AMINNESOTA DEPARTMENT OF HEALTH
WELL AND BORING REPORT
Minnesota Statutes Chapter 1031Entry Date 11/04/1987
Update Date 12/20/1994
Received Date

Well Name FREDERIXON,	Township 111	Range 15	Dir Section W 3	Subsection CDDDD	Well Depth 281 ft.	Depth Completed 281 ft.	Date Well Completed 12/12/1978
Elevation 1155	Elev. Method 7.5 minute topographic map (+/- 5 feet)	Drill Method Non-specified Rotary		Drill Fluid	Use domestic Status Active		
Address C/W GOODHUE MN 55027					Well Hydrofractured? Yes <input type="checkbox"/> No <input type="checkbox"/> From To		
Stratigraphy Information					Casing Type Step down Joint Welded		
Geological Material	From	To (ft.)	Color	Hardness	Drive Shoe? Yes <input type="checkbox"/> No <input type="checkbox"/> Above/Below 0 ft.		
CLAY	0	90			Casing Diameter	Weight	Hole Diameter
LIMEROCK	90	112			4 in. To 230 ft.	lbs./ft.	4 in. To 281 ft.
SANDROCK	112	127			8 in. To 20 ft.	lbs./ft.	
LIMEROCK WITH SAND	127	215			Open Hole From 230 ft. To 281 ft.		
SANDROCK	215	230			Screen? <input type="checkbox"/> Type Make		
SANDROCK	230	281			Static Water Level		
Pumping Level (below land surface)							
Wellhead Completion							
Pitless adapter manufacturer				Model			
<input type="checkbox"/> Casing Protection				<input type="checkbox"/> 12 in. above grade			
<input type="checkbox"/> At-grade (Environmental Wells and Borings ONLY)							
Grouting Information Well Grouted? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Specified							
Material		Amount		From		To	
		3 Cubic yards		0 ft.		230 ft.	
Nearest Known Source of Contamination							
feet		Direction		Type			
Well disinfected upon completion? <input type="checkbox"/> Yes <input type="checkbox"/> No							
Pump <input checked="" type="checkbox"/> Not Installed Date Installed							
Manufacturer's name							
Model Number		HP		g.p.		Volt	
Length of drop pipe		ft		Capacity		g.p. Typ	
Abandoned							
Does property have any not in use and not sealed well(s)? <input type="checkbox"/> Yes <input type="checkbox"/> No							
Variance							
Was a variance granted from the MDH for this well? <input type="checkbox"/> Yes <input type="checkbox"/> No							
Miscellaneous							
First Bedrock	Prairie Du Chien Group		Aquifer Jordan				
Last Strat	Jordan Sandstone		Depth to Bedrock		90 ft		
Located by Minnesota Geological Survey							
Locate Method Digitized - scale 1:24,000 or larger (Digitizing Table)							
System		UTM - NAD83, Zone 15, Meters		X 531594		Y 4921082	
Unique Number Verification		Information from		Input Date		01/01/1990	
Angled Drill Hole							
Well Contractor							
Cannon Well Co.		25249		SCHRAMM, R.			
Licensee Business		Lic. or Reg. No.		Name of Driller			

Minnesota Well Index Report

120185

Printed on 06/04/2020
HE-01205-15

526971

County Goodhue
Quad Goodhue
Quad ID 69BMINNESOTA DEPARTMENT OF HEALTH
WELL AND BORING REPORT
Minnesota Statutes Chapter 1031Entry Date 09/16/1993
Update Date 02/14/2014
Received Date

Well Name SCHRIMPF	Township 111	Range 15	Dir Section W 9	Subsection CDDDD	Well Depth 380 ft.	Depth Completed 380 ft.	Date Well Completed 06/15/1993
Elevation 1112	Elev. Method 7.5 minute topographic map (+/- 5 feet)	Drill Method Non-specified Rotary		Drill Fluid Foam	Use domestic Status Active		
Address C/W HWY 58 BL GOODHUE MN 55027					Well Hydrofractured? Yes <input type="checkbox"/> No <input type="checkbox"/> From To		
Stratigraphy Information					Casing Type Step down Joint Welded		
Geological Material	From	To (ft.)	Color	Hardness	Drive Shoe? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Above/Below 0 ft.		
CLAY	0	54	YELLOW	SOFT	Casing Diameter	Weight	Hole Diameter
LIME	54	290	YELLOW	HARD	4 in. To 325 ft.	lbs./ft.	12 in. To 54 ft.
SANDROCK	290	310	BROWN	SOFT	8 in. To 54 ft.	lbs./ft.	8 in. To 325 ft.
SANDROCK	310	380	GRAY	MEDIUM	4 in. To 380 ft.		
Open Hole From 325 ft. To 380 ft.							
Screen? <input type="checkbox"/> Type Make							
Static Water Level							
100 ft.		land surface		Measure		06/15/1993	
Pumping Level (below land surface)							
180 ft.		hrs. Pumping at		50		g.p.m.	
Wellhead Completion							
Pitless adapter manufacturer				WHITEWATER		Model SU4X6.5	
<input type="checkbox"/> Casing Protection				<input type="checkbox"/> 12 in. above grade			
<input type="checkbox"/> At-grade (Environmental Wells and Borings ONLY)							
Grouting Information Well Grouted? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Specified							
Material		Amount		From		To	
neat cement		8 Cubic yards		0 ft.		325 ft.	
Nearest Known Source of Contamination							
100 feet		West Direction		Septic tank/drain field Type			
Well disinfected upon completion? <input type="checkbox"/> Yes <input type="checkbox"/> No							
Pump <input type="checkbox"/> Not Installed Date Installed 06/21/1993							
Manufacturer's name GRUNDFOS							
Model Number		25550-26		HP 5		Volt 230	
Length of drop pipe		198 ft		Capacity 35		g.p. Typ Submersible	
Abandoned							
Does property have any not in use and not sealed well(s)? <input type="checkbox"/> Yes <input type="checkbox"/> No							
Variance							
Was a variance granted from the MDH for this well? <input type="checkbox"/> Yes <input type="checkbox"/> No							
Miscellaneous							
First Bedrock	Prairie Du Chien Group		Aquifer Jordan				
Last Strat	Jordan Sandstone		Depth to Bedrock		54 ft		
Located by Minnesota Geological Survey							
Locate Method Digitized - scale 1:24,000 or larger (Digitizing Table)							
System		UTM - NAD83, Zone 15, Meters		X 530031		Y 4919464	
Unique Number Verification		Information from		Input Date		05/28/1996	
Angled Drill Hole							
Well Contractor							
Kimmes-Bauer		19521		MILLER, M.			
Licensee Business		Lic. or Reg. No.		Name of Driller			

Minnesota Well Index Report

526971

Printed on 06/04/2020
HE-01205-15

*These are recommendations and are not intended to meet the requirements of a site specific SWPPP for an NPDES Storm Water Discharge Permit.

Description of the site:

The site is currently cropland. The project consists of construction of a cattle confinement operation with a deep pit. After construction, the area surrounding pit will be planted to grass.

Construction Sequence and Best Management Practices (BMP's)

1. The construction site shall be planted to grass (or cover crop) prior to commencement of construction. See Grass Seeding Guidelines.
2. Areas not to be disturbed during construction shall be staked and marked. Considerable rain water and sediment can be trapped on areas planted to grass and not compacted by construction traffic.
3. Install silt fence as shown on the site plan as needed to prevent erosion.
4. All drive entrances shall be protected with rock. Install road culvert(s) as per highway department specifications.
5. Build a berm to prevent field water from entering the construction site. Make berm 18-24" high with 3:1 side slopes. Use loose top soil from the barn area. A berm is an alternative to using silt fence. The loose soil will absorb a lot of water. Construct the berm on the contour with no channel on the up-hill side of the berm.
6. Temporary stockpiles shall have silt fence or other effective sediment controls and cannot be placed in stormwater conveyances, ditches or grass waterways.
7. Dewatering of pits and basins shall be done in a manner that does not cause nuisance conditions or discharge onto down-slope property. Rain and ground water in pit excavations shall not be allowed to flow direct into open tile, unless the tile inlet has silt fence or other protection or the perimeter tile is installed and covered with pea rock or crushed rock.
8. After backfilling and final grading is done, those areas shall be planted to grass. Slopes steeper than 5:1 shall be mulched. All seeding and mulching operations shall commence within 1 week after completion of each portion of the construction or as soon as soil conditions permit. See Grass Seeding Guidelines.
9. After berms are removed and backfill around barns is re-graded (the following spring) those areas shall be re-seeded to grass.
10. Final stabilization is achieved when soils have been stabilized by a uniform perennial vegetative cover over at least 70% of the pervious area, and all drainage ditches and grass waterways have been stabilized, then the silt fence may be removed.
11. The Owner shall keep the plans and records on file for a minimum of six (6) years.

Maintenance of BMP's

1. Owner shall inspect all BMP's weekly and within 24 hours after each rain event of 1/2" or more in 24 hours.
2. Silt shall be removed from behind silt fences within 24 hours of when the depth reaches 1/3 the height of the fence.
3. Mud and crushed rock are tracked onto public roads, it shall be removed within 24 hours.
4. If sediment escapes the site, off-site accumulations must be removed in a manner and frequency sufficient to minimize off-site impacts.

Assignment of Responsibilities for Execution of the SWPPP

1. Owner shall be responsible for execution, inspection, record keeping and up-dating The SWPPP as required in Appendix C of the NPDES Feedlot Permit. See form for the Storm Water Pollution Prevention Plan Record.
2. Owner shall inspect all BMP's weekly and within 24 hours after each rain event of 1/2" or more in 24 hours and supervise proper maintenance of erosion and sediment control practices.
3. Earthwork Contractor shall be responsible for implement, manage and maintain both temporary and permanent erosion and sediment control BMP's (except seeding) until final grading has been completed on site.
4. Owner shall be responsible for seedbed preparation, planting and mulching operations prescribed by the SWPPP.
5. Changes to the SWPPP shall be approved and recorded by Owner prior to implementation.

Grass Seeding Guidelines

All in-place topsoil shall be salvaged to the maximum extent possible. It is ideal to place 6 inches of top soil in areas to be seeded. Harrowing before and packing with roller after planting will help germination, make the ground smoother and easier to mow. Seeding mixture and rates are recommendations based on DOT specs. Fertilizer is important for quick growth. Mixtures 250 and 280 can be mowed.

Temporary seeding: Fertilizer 10-10-20 at 200 lbs/acre.

- Oats at 100 lbs/ac for spring/summer seeding of areas that will be left undisturbed for 21 days or more.
- Winter wheat at 100 lbs/ac for fall seeding of areas that will be disturbed again in the spring, such as backfill around barns.

Turf and agricultural grasses: Fertilizer 20-10-20 at 350 lbs/acre.

General Roadside mix.

Brome grass, smooth	9.8 lbs/ac	14.0%
Bluegrass, Kentucky "Certified Park"	20.3	29.0
Bluegrass, Canada	9.8	14.0
Switch grass	2.1	3.0
Wheat-grass, slender	2.8	4.0
Rye-grass, perennial	14.7	21.0
Timothy	2.1	3.0
Redtop	2.1	3.0
Alfalfa, creeping	4.2	6.0
White clover	2.1	3.0
Total		

70 lb/ac

Agricultural Roadside mix.

Alfalfa, creeping	15 lb/ac	30.0%
Brome grass, smooth	10	20.0
Redtop	3	6.0
Rye-grass, perennial	15	30.0
Switch grass	2	4.0
Timothy	2	4.0
Wheat-grass, slender	3	6.0
Total	50 lb/ac	

OPERATION, INSPECTION AND MAINTENANCE PLAN

NEED FOR OPERATION, INSPECTION AND MAINTENANCE PLAN

Although this Waste Storage Structure has been designed in accordance with MPCA recommendations and its based upon the best available technical knowledge, it must be recognized that any Waste Storage Structure needs to be properly maintained, including periodic inspection. You, the Owner, are responsible for this Waste Storage Structure. The following guidelines for safe operation and maintenance are recommended.

- (1) routine inspections, maintenance and record keeping to be completed to identify and document damage to the liner.
- (2) methods to be used to repair areas of damaged liner;
- (3) methods used to monitor the liquid level in the basin to evaluate proper operation and adequate available storage capacity; and
- (4) routine inspections of perimeter tile line outlets and inspection manholes to ensure proper operation of the system.

Annually, the liquid will be mixed and removed for land application. Liquid level in the pit(s) shall be monitored quarterly (4 times per year) and after any water line breaks or abnormal additions to the pit. The level shall be measured using a rod or wood stick and the depth recorded.

SEMI-ANNUAL INSPECTION OF LIQUID STORAGE AND HANDLING SYSTEMS

Establish a time each spring and fall for a thorough inspection of the liquid storage and handling systems. DO NOT ENTER COVERED PITS & TANKS.

All concrete storage tanks and reception pits shall be inspected to evaluate the outside of structures for cracks and deterioration of concrete. Any cracks showing discharge of liquid shall be inspected by an engineer and repairs done as prescribed by the engineer.

Maintain the following in proper working order:

- 1) Finish earthwork around the structure should be designed to carry runoff away from the foundation. Rainwater diversions to direct 'clean' water away and 'dirty' water into storage facilities. Grass should be established in those areas not covered by concrete and gravel.
- 2) Childproof covers must be placed upon the pumpouts. Open pumpouts should never be left unattended.
- 3) Warning signs shall be posted to prevent children and others from using the pit other than the intended use.
- 4) Animal wastes shall be handled and utilized as specified in the Manure Management Plan.
- 5) The Waste Storage Structure requires continuous ventilation to safely remove poisonous and noxious gases. Manure agitation will release large amounts of gas and may create a hazardous situation. Ensure that the ventilation fans are operating before agitation and, if possible, evacuate the building.
- 6) Manure pits that contain bearing divider walls should be emptied using a modified pumping plan. All manure sections should be partially emptied to prevent possible divider wall failure. Removal of about 3' of manure is recommended from each section before complete emptying of any one section is undertaken.
- 7) No person should enter a Waste Storage Structure without proper training and without wearing a self-contained breathing device. A second person should remain outside of the structure and should have an immediate means of removing the person inside the structure in an emergency.
- 8) Regular quarterly inspections should be made of the structure and its surroundings for leaks, concrete deterioration and pumpout cover conditions. Inspection of the slats for signs of deterioration is advised.
- 9) Concrete should be inspected for large cracks and exposed reinforcing steel. Joints should be checked for unusual openings.
- 10) Concrete surfaces should be quarterly inspected for erosion, scaling and exposed reinforcing steel.

- 11) Perimeter tile, sump pumps, sampling ports and rodent guards at outlets.
- 12) The structure walls are designed to resist earth loads only. Do not operate any equipment on this surface.
- 13) The beam and flooring system is designed for animal loads only. Do not operate any equipment on this surface.
- 14) If, during the inspection, serious defects are discovered, remedial actions may be required. The County Feedlot Officer and Engineer should be contacted and possible the MPCA.

RECORDS

Record the inspections, evaluations and maintenance done in a spiral bound notebook. Also take and date pictures before and after any maintenance work is done on cover and liquid storage and handling facilities.

PERIMETER TILE MONITORING AND CONTINGENCY PLAN

INSPECT PERIMETER TILE AT LEAST ONE WEEK BEFORE EMPTYING STORAGE

All below ground waste storage structures require perimeter tile to relieve the hydrostatic pressures which would otherwise damage the sides of the concrete tanks and manure storage pits under barns. There is a serious problem if the water level in the sump or inspection port is above the pit floor.

It is very important that the ground water level be lowered prior to emptying the manure storage pit. It may take a week or more for the system to lower the ground water pressure once the problem has been corrected.

BASE LINE SAMPLING

It is recommended that base line sampling be done before manure is put in the storage facility to document any pre-existing contamination that may be in the soil. This is especially important if the site is in an old barn-yard area or has received heavy applications of manure for many years.

Base line samples should be collected at least two (2) times prior to the addition of manure into the waste storage structure. If there is no flow from the tile, sampling shall begin as soon as water is available for sampling. Each 'base line' sampling event shall be scheduled at least two (2) weeks apart.

1. The Owner shall contract with an independent laboratory to collect and analyze the samples. The laboratory must be certified. The laboratory report shall include: Chain of custody record, date, parameter, method used, results, units.
2. The water quality parameters to be monitored are:

Total Kjeldahl Nitrogen	Nitrate Nitrogen
Nitrite Nitrogen	Ammonium Nitrogen
Dissolved Oxygen	Chloride
Sulfate	Total Phosphorus
Fecal Coliform	pH
Temperature	Specific Conductivity
Flow (as determined by time to fill 5 gallon pail)	

CHANGE IN TILE WATER COLOR OR ODOR

If visual observation of the tile water indicates a change in color or odor, then a more urgent response is necessary. A change in color or odor may be caused by either soil and/or manure water. If this should occur, immediately stop all discharge to field tile. Notify the MPCA or Engineer immediately.

Install a sump pump and discharge the tile water onto a vegetated filter strip area. If necessary, plug the line going to field tile with bentonite 'chips'. Bentonite chips may be obtained from your well driller.

Goodhue County Land Use Management

Goodhue County Government Center | 509 West Fifth Street | Red Wing, Minnesota 55066

Lisa M. Hanni, L.S. Director

Building | Planning | Zoning
Telephone: 651.385.3104
Fax: 651.385.3106



County Surveyor / Recorder

Environmental Health | Land Surveying | GIS
Telephone: 651.385.3223
Fax: 651.385.3098

To: Planning Advisory Commission
From: Land Use Management
Meeting Date: June 15, 2020
Report date: June 5, 2020

PUBLIC HEARING: CUP Request for Commercial/Industrial Use Primarily Intended to Serve the Ag. Community

Request for a Conditional Use Permit, submitted by Carl Fox (Applicant) and Aaron Witmer (Owner), to operate a milking equipment parts and equipment storage, repair and sales business in the A-3, Urban Fringe District.

Application Information:

Applicant: Carl Fox (Applicant) and Aaron Witmer (Owner)
Address of zoning request: TBD HWY 58 BLVD, Zumbrota, MN 55992
Parcel(s): 47.030.1600
Abbreviated Legal Description: Part of the E 1/2 of the NW 1/4 of Section 30 TWP 110 Range 15 in Zumbrota Township
Township Information: Zumbrota Township sent an email to staff acknowledging the Applicants' request.
Zoning District: A-3 Urban Fringe District

Attachments and links:

Application and submitted project summary
Site Map(s)
Goodhue County Zoning Ordinance (GCZO):
<http://www.co.goodhue.mn.us/DocumentCenter/View/2428>

Summary:

Carl Fox is requesting a Conditional Use Permit to establish a milking equipment parts and equipment storage, repair and sales business in an existing structure on property owned by Aaron Witmer in Zumbrota Township.

All Commercial/Industrial uses primarily intended to serve the agriculture communities in Goodhue County are required to obtain a Conditional Use Permit.

Project Summary:

Property / Building Information:

- The subject property is approximately 7.83 acres and is owned by Aaron Witmer. Mr. Witmer also owns an approximately 1.35 acre parcel (PID 72.120.0430) directly south of the proposed site in the City of Zumbrota.
- The existing building to be rented by Mr. Fox is 40-feet by 60-feet (2400 square feet).
 - The property is bordered by A-3 zoned properties to the north, east and west; the City of Zumbrota is directly south of the property. Adjacent land uses include low-density residential and agricultural uses including row crop agriculture in the A-3 districts and medium-density residential in the City limits.
 - No new structures will be constructed on the parcel for the proposed business use.
 - Solid waste disposal services will be provided by a local professional business.

- A 4' x 6' sign is proposed to be installed along Highway 58. The proposed size meets Goodhue County Zoning Ordinance sign requirements for business/industrial uses intended to serve the ag. communities.
- No additional exterior lighting is proposed for the business. There are existing lights on the building's south and east sides.
- Exterior storage is proposed on a pipe rack on the north side of the existing structure (see proposed site plan). The proposed size of the rack is 4' wide by 20' long by 8' high. An existing building north of the structure provides screening of the area from vehicles southbound on Highway 58 and from any neighboring parcels to the north.

The Planning Commission should consider if additional screening of exterior storage is warranted.

Business Information:

- There are two existing structures on site. The Applicant proposes to rent only the south building for a milking equipment storage and repair business. The building would also house a small office and retail space. The building would also house a 24-feet by 28-feet (672 square feet) retail space and a 12-feet by 24-feet (288 square feet) office.
 - Deliveries will be loaded and off-loaded on site near the existing building. The Applicant noted that large products may be delivered to the site no more than two times per month.
 - Primary hours of operation are proposed to be year-round, Monday through Friday from 8:00 AM to 5:00 PM.
 - The applicant proposes to have 5 employees. Employees will mostly work off-site performing repair work on milking equipment at farms.
 - No equipment creating excessive noise, odor or dust will be used for the business as most repair work would be conducted off-site.
 - No traffic beyond that which is reasonable for the local transportation network is anticipated.
 - The business would occasionally have customers come to the site to purchase items in the retail store.
 - Parcel access is located off of Highway 58 on the east side of the property. Highway 58 is a MNDOT asphalt-surfaced roadway. *MNDOT District 6 has been notified of the proposed conditional use permit and staff will update the Planning Commission with any comments received.*

The driveway crosses Mr. Witmer's property in the City of Zumbrota to access the north parcel in Zumbrota Township. Mr. Witmer has signed a letter permitting access to the business over his 1.35 acre parcel. The 7.83-acre parcel has adequate road frontage along Highway 58 if a new access is needed in the future. The Applicant would need to request access approval from MNDOT to establish a new access drive if necessary. The driveway will need to meet Goodhue County Zoning Ordinance standards for driving surface width of 10 feet.

- No traffic beyond that which is reasonable for the local transportation network is anticipated. Adequate emergency vehicle access is available to service the facility.
- The Zoning Administrator has calculated that a minimum of 5 off-street parking spaces are required. Upon completion of a gravel parking area, ample room will exist on the parcel to fulfill off-street parking and loading/unloading requirements.
- Zumbrota Township has sent an email to staff acknowledging the proposed business, noting that their acknowledgement is not an approval or disapproval of the project. *The City of Zumbrota has been contacted and staff will update the Planning Commission with any comments received from the city.*

Draft Findings of Fact:

The following staff findings shall be amended to reflect concerns conveyed during the PAC meeting

and public hearing.

1. The proposed business does not appear injurious to the use and enjoyment of properties in the immediate vicinity for uses already permitted, nor would it substantially diminish and impair property values in the immediate vicinity. The proposed business will be conducted inside an existing structure. A significant increase in traffic is not anticipated as business activities are mostly conducted off-site.
2. The establishment of the proposed business is not anticipated to impede the normal and orderly development and improvement of surrounding vacant property for uses predominant to the area. The use is proposed to meet all development standards of the Goodhue County Zoning Ordinance and the majority of the business operations will be confined within the proposed structure. The use as proposed appears compatible with existing adjacent land uses.
3. A review of the applicant's submitted project summary indicates adequate utilities, access roads, drainage and other necessary facilities are available to accommodate the proposed use.
4. The Applicant has provided a proposal to provide sufficient off-street parking and loading space to serve the proposed use and meet the Goodhue County Zoning Ordinance's parking requirements.
5. The business will be conducted primarily within the existing structure to prevent and control offensive odor, fumes, dust, noise, and vibration so that none of these will constitute a nuisance.

Staff recommendation is based on the review of the submitted application and project area prior to the public hearing.

Staff Recommendation:

LUM Staff recommends the Planning Advisory Commission

- adopt the staff report into the record;
- adopt the findings of fact;
- accept the application, testimony, exhibits, and other evidence presented into the record; and

Recommend that the County Board of Commissioners **APPROVE** the request from Carl Fox (Applicant) and Aaron Witmer (Owner) for a CUP to establish a business primarily serving the ag. community.

Subject to the following conditions:

1. Activities shall be conducted according to submitted plans, specifications, and narrative unless modified by a condition of this CUP;
2. Primary hours of operation shall be year-round, Monday through Friday, 8:00 AM to 5:00 PM;
3. On-street parking shall be prohibited;
4. On-street loading or off-loading shall be prohibited;
5. Compliance with all necessary State and Federal registrations, permits, licensing, and regulations;
6. Compliance with Goodhue County Zoning Ordinance including, but not limited to Article 23 A-3, Urban Fringe District; and
7. The Applicant should obtain a Building Permit approval from the Goodhue County Building Permits department prior to establishing the use.

GOODHUE COUNTY CONDITIONAL/INTERIM USE PERMIT APPLICATION

RECEIVED
MAY 27 2020

Land Use Management

Parcel # 47.030.1600

Permit# 220.0023

PROPERTY OWNER INFORMATION

Last Name Witmer

First Aaron

Email:

Street Address 39625 240th Ave

Phone

City Goodhue

State MN

Zip 55027

Attach Legal Description as Exhibit "A"

Authorized Agent Carl Fox

Phone

Mailing Address of Landowner: 39625 240th Ave, Goodhue MN 55027

Mailing Address of Agent: 41123 670th St. Mazeppa MN 55956

PROJECT INFORMATION

Site Address (if different than above): 206 Walnut St. Zumbrota MN 55992

Lot Size 7.83 ac. Structure Dimensions (if applicable) 40x60 feet.

What is the conditional/interim use permit request for?

Requesting the use of these facilities for warehouse and retail activities

Written justification for request including discussion of how any potential conflicts with existing nearby land uses will be minimized

We will be using an existing building for warehouse, retail, and office space.

the operations will not conflict with any nearby land uses.

DISCLAIMER AND PROPERTY OWNER SIGNATURE

I hereby swear and affirm that the information supplied to Goodhue County Land Use Management Department is accurate and true. I acknowledge that this application is rendered invalid and void should the County determine that information supplied by me, the applicant in applying for this variance is inaccurate or untrue. I hereby give authorization for the above mentioned agent to represent me and my property in the above mentioned matter.

Signature of Landowner: Aaron Witmer

Date 5-25-20

Signature of Agent Authorized by Agent: Carl Fox

TOWNSHIP INFORMATION

Township Zoning Permit Attached? If no please have township complete below:

By signing this form, the Township acknowledges being made aware of the request stated above. In no way does signing this application indicate the Township's official approval or denial of the request.

Signature

Title

Date

Comments:

COUNTY SECTION

COUNTY FEE \$350

RECEIPT # 17269

DATE PAID 5.27.20

Applicant requests a CUP/IUP pursuant to Article ___ Section ___ Subdivision ___ of the Goodhue County Zoning Ordinance

What is the formal wording of the request?

Shoreland ___ Lake/Stream Name ___ Zoning District ___

Date Received ___ Date of Public Hearing ___ DNR Notice ___ City Notice ___

Action Taken: ___ Approve ___ Deny Conditions:

GOODHUE COUNTY CONDITIONAL/INTERIM USE PERMIT APPLICATION

PROJECT SUMMARY

Please provide answers to the following questions in the spaces below. If additional space is needed, you may provide an attached document.

1. Description of purpose and planned scope of operations (including retail/wholesale activities).
We will be using these building for storage and retail of milking equipment and dairy supplies.
2. Planned use of existing buildings and proposed new structures associated with the proposal.
Buildings will be used for warehouse space and a small store and office area.
3. Proposed number of non-resident employees.
3
4. Proposed hours of operation (time of day, days of the week, time of year) including special events not within the normal operating schedule.
normal hours would be 8 to 5 monday to friday.
occasionally customers or employees will stop to pick up parts outside of normal hours
5. Planned maximum capacity/occupancy.
6
6. Traffic generation and congestion, loading and unloading areas, and site access.
we will used the drive off of hwy 58 to access the buidings
see attached map. traffic will be about 5-10 vehicles per day
7. Off-street parking provisions (number of spaces, location, and surface materials).
gravel parking area in front of building for 4 vehicles
8. Proposed solid waste disposal provisions.
dupster by Advanced Disposal
9. Proposed sanitary sewage disposal systems, potable water systems, and utility services.
We are not proposing using any sewage or water system.
Electricity is supplied by Excel energy

10. Existing and proposed exterior lighting.

Existing building has a light on the south and east sides
we will not be adding any more lights

11. Existing and proposed exterior signage.

Currently there is no signage we are proposing one lighted
4x6 sign along hwy 58 and a banner on the south side of the
building

12. Existing and proposed exterior storage.

None exist. we are proposing a pipe rack on the north side of
the building 4 ft. wide 20 ft. long 8 ft. high

13. Proposed safety and security measures.

We will not use any security system

14. Adequacy of accessibility for emergency services to the site.

The property is easily accessed from 58 or Walnut st.

15. Potential for generation of noise, odor, or dust and proposed mitigation measures.

generation of noise, dust, or odor will be very minimal

16. Anticipated landscaping, grading, excavation, filling, and vegetation removal activities.

We will be adding gravel to the drive way

17. Existing and proposed surface-water drainage provisions.

Currently water drains to a culvert under 58. we are not
proposing any changes

18. Description of food and liquor preparation, serving, and handling provisions.

we will not be preparing or serving food at this site

19. Provide any other such information you feel is essential to the review of your proposal.

To Whom this may concern;

I Aaron Witmer, owner of property at 206 Walnut St. Zumbrota, MN do hereby give permission for Milker Medic business to use the east driveway of my property at said address to access the premises adjacent at parcel no. 47.030. 1600 to the north to be used for their Milker Medic business.

Aaron Witmer 5-26-20

Aaron Witmer



470301800

Zumbrota Township

470301600

outside storage

parking area

sign

drive way

721200040

721200430

City of Zumbrota

HIGHWAY 58

MAIN ST W

WALNUT ST

0 25 50 100 Feet

1 inch = 50 feet

721200440



1600050



Goodhue County GIS Office, January 2019

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MAP 01: PROPERTY OVERVIEW



PLANNING COMMISSION

Public Hearing
June 15, 2020

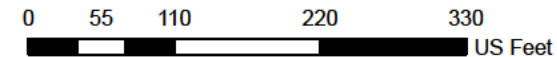
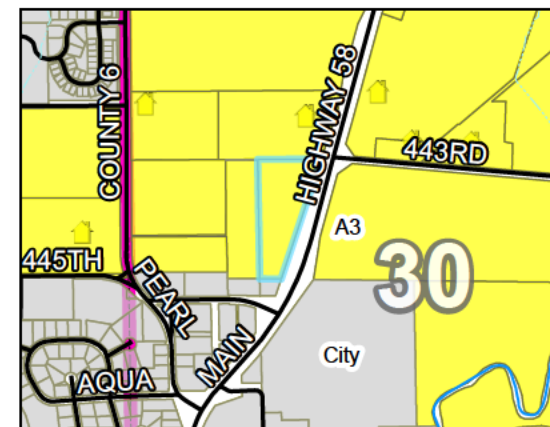
Carl Fox (Applicant) and
Aaron Witmer (Owner)
A-3 Zoned District

Part of the E 1/2 of the NW 1/4 of Section
30 TWP 110 Range 15 in Zumbrota
Township

Request for CUP to operate a milk truck
parts and equipment storage, repair and
sales business

Legend

Intermittent Streams	Bluff Impact Zones (% slope)
Protected Streams	20
Lakes & Other Water Bodies	30
Shoreland	FEMA Flood Zones
Historic Districts	2% Annual Chance
Parcels	A
Registered Feedlots	AE
Dwellings	AO
Municipalities	X



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Map Created May, 2020 by LUM



MAP 03: ELEVATIONS



PLANNING COMMISSION

Public Hearing
June 15, 2020

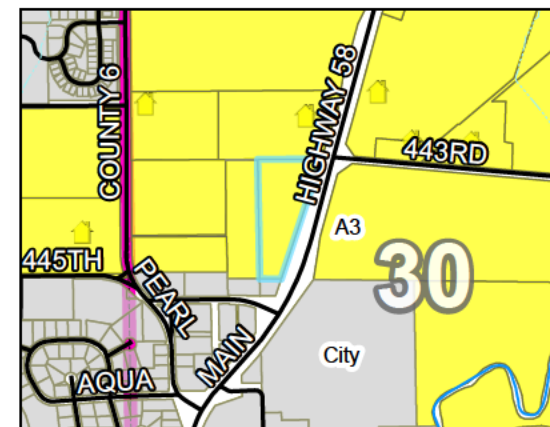
Carl Fox (Applicant) and
Aaron Witmer (Owner)
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Township

Request for CUP to operate a milk truck
parts and equipment storage, repair and
sales business

Legend

Intermittent Streams	Bluff Impact Zones (% slope) 20
Protected Streams	Bluff Impact Zones (% slope) 30
Lakes & Other Water Bodies	FEMA Flood Zones
Shoreland	2% Annual Chance
Historic Districts	A
Parcels	AE
Registered Feedlots	AO
Dwellings	X
Municipalities	



0 55 110 220 330
US Feet

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MAP 02: VICINITY MAP



PLANNING COMMISSION

Public Hearing
June 15, 2020

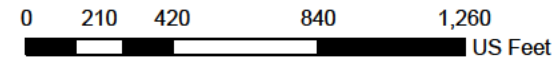
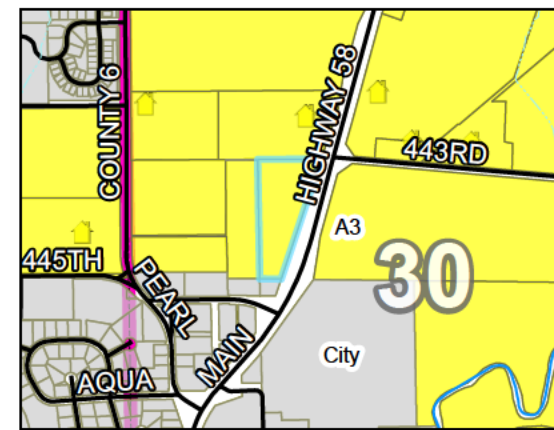
Carl Fox (Applicant) and
Aaron Witmer (Owner)
A-3 Zoned District

Part of the E 1/2 of the NW 1/4 of Section
30 TWP 110 Range 15 in Zumbrota
Township

Request for CUP to operate a milk truck
parts and equipment storage, repair and
sales business

Legend

	Intermittent Streams		Bluff Impact Zones (% slope)
	Protected Streams		30
	Lakes & Other Water Bodies		
	Shoreland		
	Historic Districts		
	Parcels		
	Registered Feedlots		
	Dwellings		
	Municipalities		
			FEMA Flood Zones
			2% Annual Chance
			A
			AE
			AO
			X



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Map Created May, 2020 by LUM









Goodhue County Land Use Management

Goodhue County Government Center | 509 West Fifth Street | Red Wing, Minnesota 55066

Lisa M. Hanni, L.S. Director



County Surveyor / Recorder

Building | Planning | Zoning
Telephone: 651.385.3104
Fax: 651.385.3106

Environmental Health | Land Surveying | GIS
Telephone: 651.385.3223
Fax: 651.385.3098

To: Planning Advisory Commission
From: Land Use Management
Meeting Date: June 15, 2020
Report date: June 5, 2020

TABLED: Consider Text Amendments to Articles 10 (Definitions), 11 (Performance Standards), 20 (Table of Uses), 25 (B1 Zoning District), 27 (B2 Zoning District), and 28 (Industrial Zoning District)

Consider proposed text amendments to Goodhue County Zoning Ordinance to allow “Exterior Storage Yards” as a permitted use in the B-1 (General Business District), B-2 (Highway Business), and Industrial Districts and to consider the use in the A-1 (Agriculture Protection), (A-2 (General Agriculture) and A-3 (Urban Fringe) Districts.

Attachments and links:

LUM Staff proposed Exterior Storage Yards Definition and Performance Standards
Goodhue County Zoning Ordinance (GCZO):
<http://www.co.goodhue.mn.us/DocumentCenter/View/2428>

Summary:

At the May 18, 2020 Planning Commission Meeting the Commission tabled consideration of staff’s proposed “Exterior Storage Yard” Zoning Ordinance text amendment. The discussion was tabled to allow the Planning Commission additional time to review staff’s proposed language as well as time for staff to provide additional standards for consideration of the use in the Agriculture Districts and additional time to review public comments. Staff’s proposed Exterior Storage Yard amendments were developed after extensively researching the adopted language in adjacent counties as well as zoning jurisdictions throughout the country.

Staff has prepared additional information for the Planning Commission to consider for “Exterior Storage Yards” in Agriculture Districts.

Staff Recommendations:

LUM Staff recommends the Planning Advisory Commission

- adopt the staff report into the record;
- accept the application, testimony, exhibits, and other evidence presented into the record; and

recommend that the County Board of Commissioners **APPROVE** Staff’s recommended proposed “Exterior Storage Yards” text amendments.

ARTICLE 10 WORD USAGE AND DEFINITIONS

Option 1:

EXTERIOR STORAGE YARDS. An outdoor facility designed and used for the orderly storage of operable recreational vehicles, boats, vehicles, or similar items.

Option 2:

EXTERIOR STORAGE YARDS. An outdoor facility designed and used for the orderly storage of 10 or more operable recreational vehicles, boats, vehicles, or similar items.

ARTICLE 11 PERFORMANCE STANDARDS

Section 33. EXTERIOR STORAGE YARDS

Subd. 1. Exterior Storage Yards shall comply with the following standards:

- A. The parcel must meet or exceed the minimum size standards for the applicable zone.
- B. The site shall not be located within Wetland, Floodplain, or Blufflands.
- C. All equipment, vehicles, and activities associated with Exterior Storage Yards shall be required to meet all setbacks for the applicable zone.
- D. Storage of hazardous wastes or materials is prohibited.
- E. Use of Exterior Storage Yards for equipment servicing or repair, retail sales, processing, or manufacturing is prohibited.
- F. Exterior Storage Yards shall be screened from view of any public street, residence, or adjoining Residential Districts (R, CS, MXH) with landscaping, berming, and/or fencing to a minimum 6 feet in height above original grade.
- G. All lighting shall be downward-projecting or shielded to prevent light from being directed off the premises.
- H. All areas for storage shall be surfaced with aggregate, asphalt, or similar material.
- I. A landscaping and drainage plan detailing adequate provisions for stormwater control and erosion prevention shall be provided.
- J. Daily hours of operation shall be limited to 7:00 AM to 9:00 PM.

Subd. 2. Exterior Storage Yards within the A-1, A-2 or A-3 Districts shall comply with the following additional standards:

- A. Maximum Exterior Storage Yard area shall not exceed **2 acres**.
- B. No more than one Exterior Storage Yard shall be permitted per parcel.
- C. The routes and conditions of local transportation networks will be part of the review process to determine if they are capable of supporting the proposed use without appreciably diminishing traffic safety along primary access routes. When appropriate, the applicant shall bear the costs of required dust mitigation measures.

PERMITTED USES: Exterior Storage Yards shall be allowed as shown in the table below.

	A-1	A-2	A-3	R-1	B-1	B-2	I	CR	MXH	CS
Exterior Storage Yards	I	I	I	NP	P	P	P	C/I	NP	NP

KEY: P = Permitted Use C = Conditional Use Permit I = Interim Use Permit NP = Use not permitted in the district